

FORSYTH COUNTY
BOARD OF COMMISSIONERS

MEETING DATE: May 21, 2020 **AGENDA ITEM NUMBER:** 1A -1D

SUBJECT:

- A. PUBLIC HEARING ON ZONING PETITION OF JCS PROPERTIES NORTH LLC, WILLIAM LOGGINS AND SUSAN LOGGINS, AND BILLIE MOSES FROM RS9 TO GB-S (GENERAL BUSINESS-SPECIAL USE): PROPERTY IS LOCATED AT THE SOUTHWEST CORNER OF ROBINHOOD ROAD AND MEADOWLARK DRIVE (ZONING DOCKET F-1592)**
- B. ORDINANCE AMENDING THE FORSYTH COUNTY ZONING ORDINANCE AND OFFICIAL ZONING MAP OF THE COUNTY OF FORSYTH, NORTH CAROLINA**
- C. APPROVAL OF SPECIAL USE DISTRICT PERMIT**
- D. APPROVAL OF SITE PLAN**

COUNTY MANAGER'S RECOMMENDATION OR COMMENTS:-

SUMMARY OF INFORMATION:-

See attached staff report.

After consideration, the Planning Board recommended approval of the rezoning petition.

ATTACHMENTS:- X YES NO

SIGNATURE: _____
County Manager

DATE: _____

Motion to Approve Zoning Map Amendment F-1592 and
Statement of Consistency with Comprehensive Plan

I move that Zoning Map Amendment F-1592, including site plan and special use district, be **approved** on the basis of the following:

The proposed special use zoning map amendment, as petitioned by JCS Properties North LLC, William Loggins, Susan Loggins, and Billie Moss, to rezone a 33.91-acre piece of property from RS9 (Residential, Single Family – 9,000 sf minimum lot size) to GB-S (General Business – Special Use, with uses as set forth in the Ordinance) is consistent with the recommendations of the Legacy Comprehensive Plan and reasonable or in the public interest because

1. The subject property is an undeveloped tract adjacent to the intersection of Robinhood Road and Meadowlark Drive, and the subject property is surrounded by property zoned for commercial, institutional, mixed use, business and residential uses, which include existing uses similar to that proposed for the subject property;
2. The proposed GB-S zoning is intended to accommodate a wide range of retail, service, and office uses, including destination retail and service uses;
3. The proposed use and site plan feature the construction of buildings to intended for mixed uses, including a destination retail shopping center and multifamily residential buildings;
4. The subject property would have access to public water and sewer;
5. The proposed development would generate traffic, and will, therefore, be subject to the road improvements and other conditions set forth in the Special Use District Permit; and
6. The subject property is located in an activity center, which is suitable for GB-S zoning, and the multifamily residential component is consistent with the West Suburban Area Plan Update.

Second:

Motion to Approve Zoning Map Amendment F-1592 and
Statement of Consistency with Comprehensive Plan

I move that Zoning Map Amendment F-1592, including site plan and special use district, be **denied** on the basis of the following:

The proposed special use zoning map amendment, as petitioned by JCS Properties North LLC, William Loggins, Susan Loggins, and Billie Moss, to rezone a 33.91-acre piece of property from RS9 (Residential, Single Family – 9,000 sf minimum lot size) to GB-S (General Business – Special Use, with uses as set forth in the Ordinance) is inconsistent with the recommendations of the Legacy Comprehensive Plan and reasonable or in the public interest because

1. The subject property is an undeveloped tract adjacent to the intersection of Robinhood Road and Meadowlark Drive, and the subject property is surrounded by property zoned for commercial, institutional, mixed use, business and residential uses, which include existing uses similar to that proposed for the subject property;
2. The proposed GB-S zoning does not provide a reasonable transition to the residential property just to the south of the subject property;
3. The proposed use and site plan feature the construction of buildings to intended for mixed uses, including a destination retail shopping center;
4. The proposed development would generate substantial additional traffic at a busy intersection; and
5. The proposed rezoning contains a substantial commercial component that is inconsistent with the West Suburban Area Plan Update.

Second:

Vote:

Vote:

COUNTY ORDINANCE - SPECIAL USE

Zoning Petition of JCS Properties North LLC, William Loggins and Susan Loggins, and Billie Moses, Docket F-1592

AN ORDINANCE AMENDING
THE FORSYTH COUNTY
ZONING ORDINANCE AND THE
OFFICIAL ZONING MAP OF
THE COUNTY OF FORSYTH,
NORTH CAROLINA

BE IT ORDAINED by the Board of County Commissioners of the County of Forsyth as follows:

Section 1. The Zoning Ordinance of the *Unified Development Ordinances* of the County of Forsyth, North Carolina, and the Official Zoning Map of the County of Forsyth, North Carolina, are hereby amended by changing from RS9 to GB-S (Residential Building, Duplex; Residential Building, Townhouse; Residential Building, Twin Home; Residential Building, Multifamily; Combined Use; Arts and Crafts Studio; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; Micro-Brewery or Micro-Distillery; Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store; Shopping Center; Shopping Center, Small; Wholesale Trade A; Banking and Financial Services; Offices; Services, A; Veterinary Services; Recreation Services, Indoor; Recreation Facility, Public; Swimming Pool, Private; Theater, Indoor; Child Care, Drop-In; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices, Neighborhood Organization, or Post Office; Institutional Vocational Training Facility; Museum or Art Gallery; Police or Fire Station; School, Private; Access Easement, Private Off-Site; Park and Shuttle Lot; and Utilities) the zoning classification of the following described property:

PINs 5896-55-6034, 5896-55-6694, and 5896-55-3561

Section 2. This Ordinance is adopted after approval of the site plan entitled West End, and identified as Attachment A of the Special Use District Permit issued by the Forsyth County

Board of Commissioners the _____ day of _____, 20____ to JCS Properties North LLC, William Loggins and Susan Loggins, and Billie Moses.

Section 3. The Board of Commissioners hereby directs the issuance of a Special Use District Permit pursuant to the Zoning Ordinance of the *Unified Development Ordinances* for a development to be known as West End. Said Special Use District Permit and site plan with associated documents are attached hereto and incorporated herein.

Section 4. This Ordinance shall be effective from and after its adoption.

COUNTY, SPECIAL USE DISTRICT PERMIT

SPECIAL USE DISTRICT PERMIT

Issued by the Forsyth County
Board of Commissioners

The Forsyth County Board of Commissioners issues a Special Use District Permit for the site shown on the site plan map included in this zoning petition of JCS Properties North LLC, William Loggins and Susan Loggins, and Billie Moses (Zoning Docket F-1592). The site shall be developed in accordance with the plan approved by the Board and bearing the inscription: "Attachment A, Special Use District Permit for GB-S (Residential Building, Duplex; Residential Building, Townhouse; Residential Building, Twin Home; Residential Building, Multifamily; Combined Use; Arts and Crafts Studio; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; Micro-Brewery or Micro-Distillery; Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store; Shopping Center; Shopping Center, Small; Wholesale Trade A; Banking and Financial Services; Offices; Services, A; Veterinary Services; Recreation Services, Indoor; Recreation Facility, Public; Swimming Pool, Private; Theater, Indoor; Child Care, Drop-In; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices, Neighborhood Organization, or Post Office; Institutional Vocational Training Facility; Museum or Art Gallery; Police or Fire Station; School, Private; Access Easement, Private Off-Site; Park and Shuttle Lot; and Utilities), approved by the Forsyth County Board of Commissioners the ____ day of _____, 20 ____" and signed, provided the property is developed in accordance with requirements of the GB-S zoning district of the Zoning Ordinance of the *Unified Development Ordinances* of the County Code, the Erosion Control Ordinance, and other applicable laws, and the following conditions be met:

- **PRIOR TO THE ISSUANCE OF GRADING PERMITS:**
 - a. Developer shall obtain all necessary permits (including stormwater) from the North Carolina Department of Environmental Quality (NCDEQ) and/or the US Army Corp of Engineers.
 - b. Developer shall obtain a driveway permit from the City of Winston-Salem and NCDOT; additional improvements may be required prior to issuance of driveway permit(s). Required improvements include:
 - Installation of sidewalk, curb, and gutter along Robinhood Road and Meadowlark Drive;
 - **Robinhood Road (between Olivet Church Road and Meadowlark Drive)**
 - Construction of a raised median to prohibit vehicles from making a left turn into or out of the proposed development at Site Drive 2 (right-in/right-out);
 - Modification of the full eastbound left turn lane at Meadowlark Drive to provide an exclusive westbound left turn lane into the proposed development at Site Drive 1 and construction of the aforementioned median to provide a minimum of 200 feet of full storage and appropriate taper lengths for the eastbound [at Meadowlark Drive] and westbound [at Site Drive 1] exclusive left turn lanes;
 - **Robinhood Road and Olivet Church Road/Site Drive 1**
 - Restriping the exclusive through lane on the eastbound approach [of Robinhood Road] to a shared through-right turn lane.
 - Provision of a minimum of 200 feet of full storage and appropriate taper lengths for the new westbound left turn lane.
 - Provision of a three-lane cross-section [for Site Drive 1] consisting of one ingress and two egress lanes. For the egress movements, provision of a shared through-left turn lane and an exclusive right turn lane.
 - Restriping the shared left-right turn lane on the southbound approach [of Olivet Church Road] to a shared left-through-right turn lane.
 - **Robinhood Road and Site Drive 2 (right-in/right-out)**
 - Construction of an exclusive right turn lane on the eastbound approach [of Robinhood Road]. Provision of a minimum of 100 feet of full storage and appropriate taper length.
 - Provision of a two-lane cross-section for the proposed site access, including one ingress and one egress lane.
 - **Meadowlark Drive and Site Drive 3 (left-over)**
 - Provision of a left-over on Meadowlark Drive to permit left turn movements into the development while prohibiting left turn movements out.
 - Construction of an exclusive right turn lane on the southbound approach [of Meadowlark Drive]. Provision of a minimum of 100 feet of full storage and appropriate taper lengths.
 - c. Developer shall cordon off all areas shown on the site plan as stream buffer areas and tree save areas. These areas shall be retained and not disturbed. Vegetation in all such areas shall be protected from grading encroachment in accordance with UDO requirements.

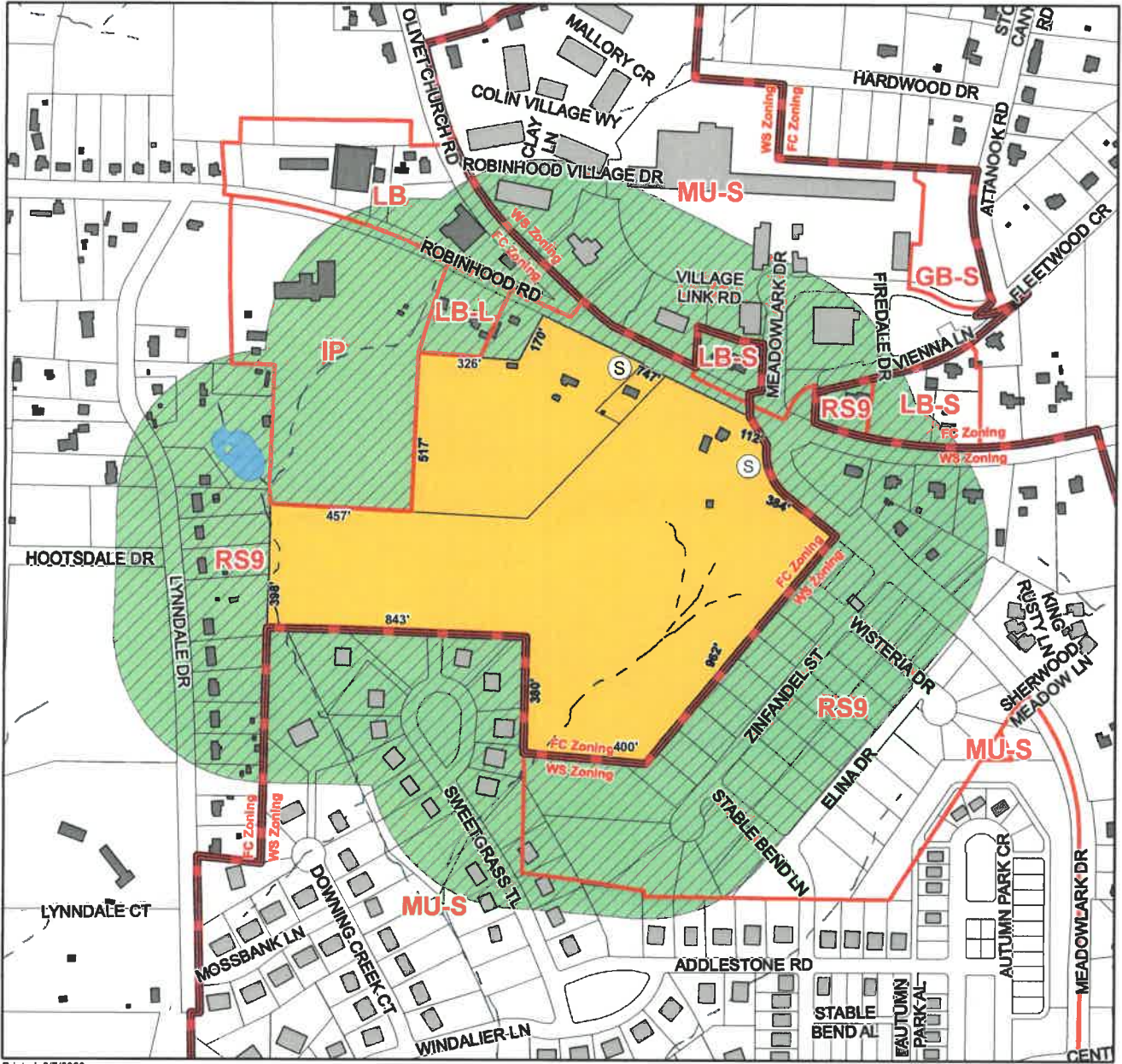
- **PRIOR TO THE SIGNING OF PLATS:**
 - a. Developer shall complete all requirements of the City of Winston-Salem and NCDOT driveway permit(s).
 - b. All NCDEQ requirements shall be completed.

- **PRIOR TO THE ISSUANCE OF BUILDING PERMITS:**
 - a. The proposed multifamily building plans shall be in substantial conformance with the submitted elevations as verified by Planning staff.
 - b. As volunteered by the developer, all retail/commercial buildings shall have similar design and materials. Primary building materials may consist of brick and brick veneer, wood and fiber cement siding, or concrete masonry units provided they are split face and textured. Additional accent materials may consist of stone, stone veneer, and cultured stone or stucco.
 - c. Rooftop HVAC equipment shall be screened from view from Robinhood Road and Meadowlark Drive.

- **PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS:**
 - a. Developer shall complete all requirements of the driveway permit(s).
 - b. Buildings shall be constructed in substantial conformance with the approved building elevations as verified by Planning staff.

- **OTHER REQUIREMENTS:**
 - a. Freestanding signage shall be limited to the following:
 - One sign with a maximum height of six (6) feet and a maximum copy area of seventy-five (75) square feet for the full access entrance on Robinhood Road.
 - One sign with a maximum height of fifteen (15) feet and a maximum copy area of one hundred (100) square feet for the corner of Meadowlark Drive and Robinhood Road.
 - One sign with a maximum height of six (6) feet and a maximum copy area of thirty-six (36) square feet for the outparcel nearest The Arbors at Meadowlark.
 - b. Wisteria Drive shall not be connected to this proposed development.
 - c. Developer shall install an “enhanced 40-foot-wide Type III bufferyard,, with a double staggered row of Nellie Stevens Hollies at a minimum height of ten (10) feet at the time of planting, spaced six (6) feet on center with a three (3)-foot-tall berm along the property boundary shared with lots 19, 20, and 21 as shown on the site plan. This buffer shall be installed once erosion control is installed and at the beginning of the grading process.
 - d. In addition to the enhanced bufferyard above, developer shall install an additional buffer between the Arbors at Meadowlark and the proposed Robin Lark Circle. This buffer shall be installed on the south side of the proposed drive and consist of a double staggered row of Nellie Stevens Hollies at a minimum height of eight (8) feet at the time of planting, spaced ten (10) feet on center as shown on the site plan. Developer shall also install a six (6) – foot decorative black aluminum fence at the back of the sidewalk at this location as shown on the site plan. This fence shall connect to the existing Arbors at Meadowlark fencing and contain no gates, other than a locked gate for maintenance.

- e. The outparcel nearest The Arbors at Meadowlark shall not be allowed the following uses: Child Day Care Center; Restaurant (with drive-through service); and Veterinary Services. This parcel shall not have illuminated attached signage on the eastern side of the building facing The Arbors at Meadowlark. No outdoor activities shall be permitted on this parcel, including outdoor dining, outdoor amplified music, grilling, 24-hour operations, bars, and axe throwing.



DOCKET #: F1592

PROPOSED ZONING:
GB-S

EXISTING ZONING:
RS9

PETITIONER:
JCS Properties North, LLC,
Williams C and Susan Loggins,
Billie Moses

- Property included in zoning request.
- 500' mail notification radius. Property not in zoning request.

SCALE: 1" represents 500'

STAFF: Roberts

GMA: 3

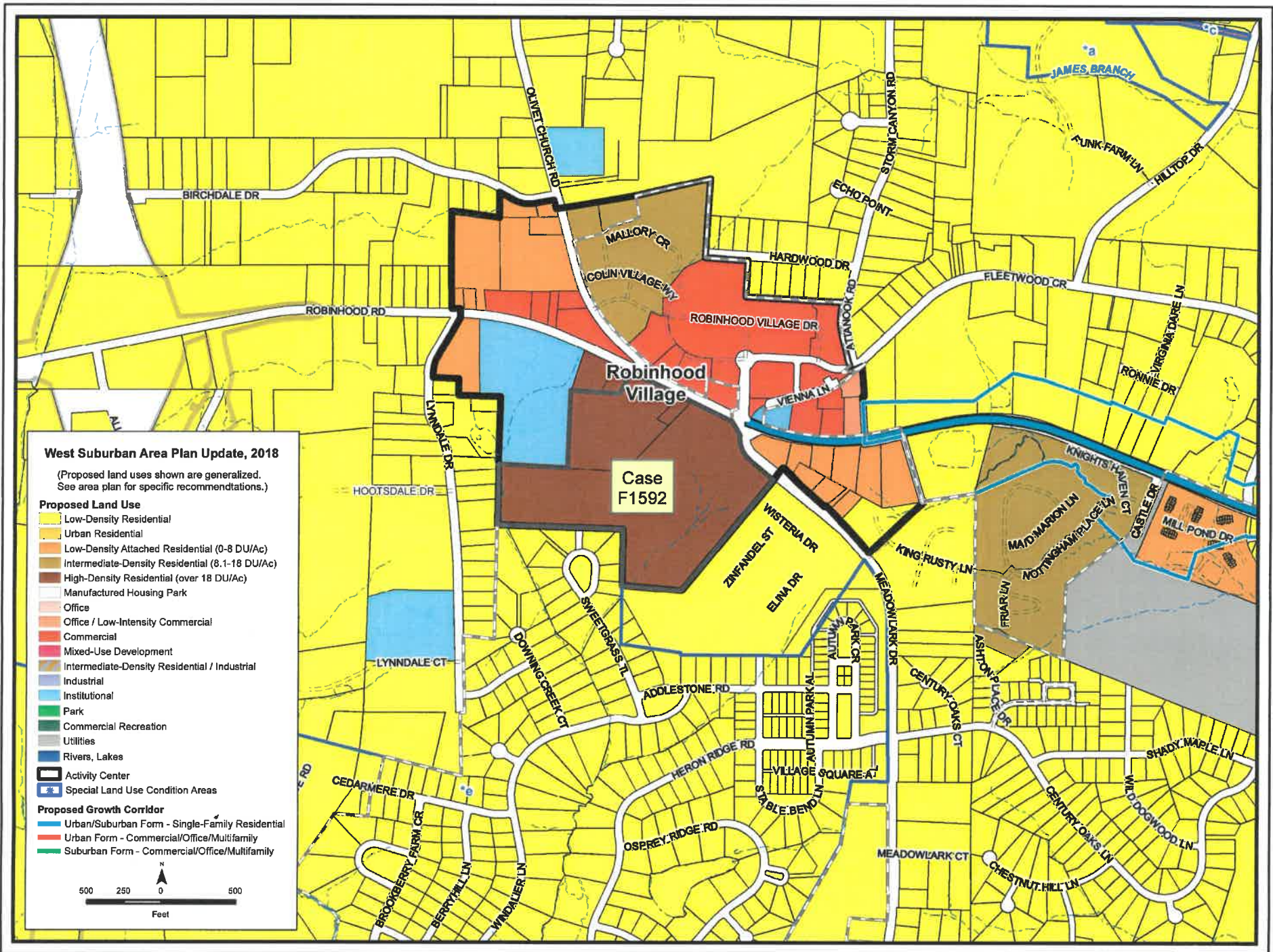
ACRES: 33.91

NEAREST BLDG: 42' south

MAP(S): 5896.01, 5896.02,
5869.03, 5896.04



Printed: 2/7/2020





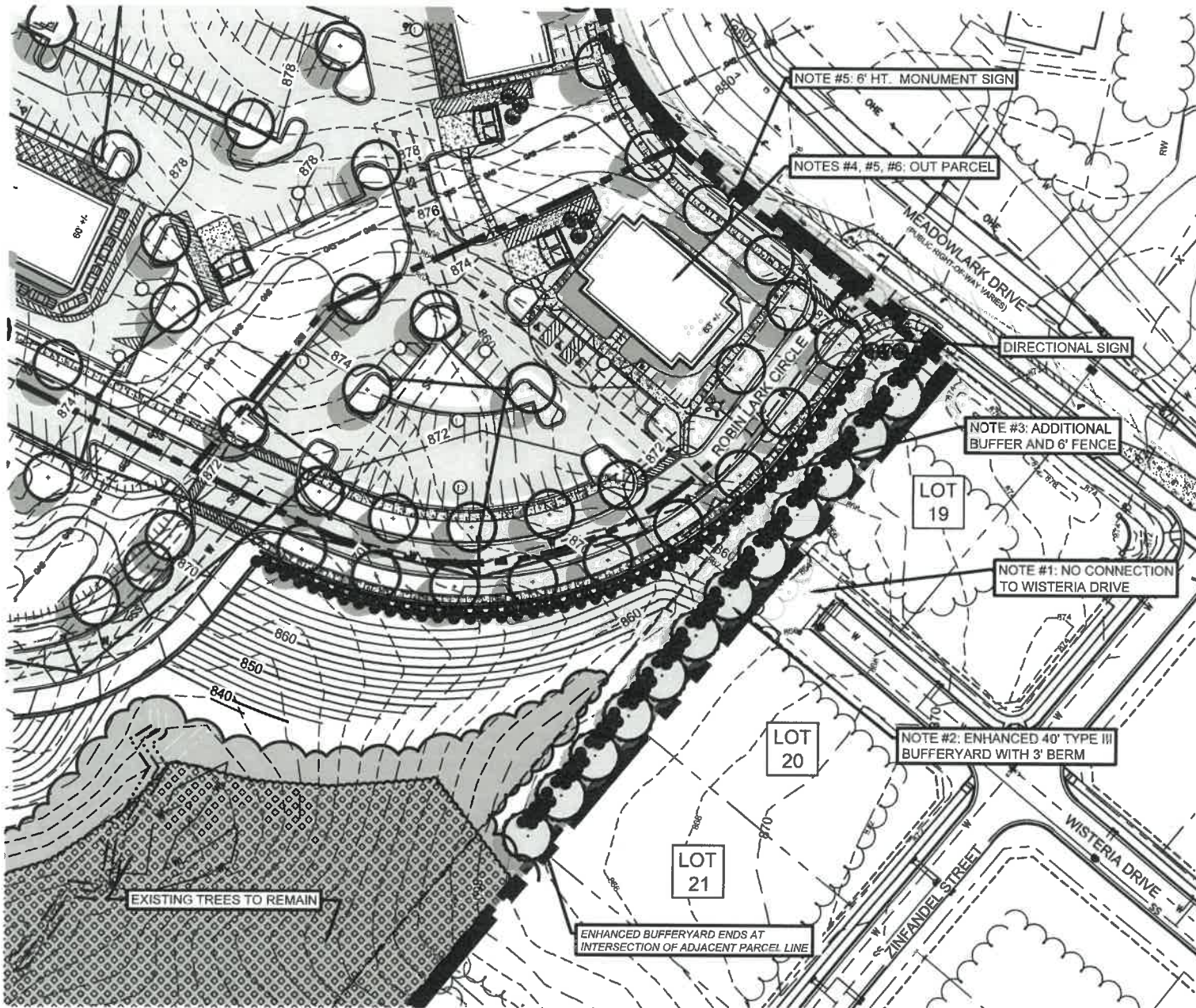
BUILDING "C" End Elevation





BUILDING 'C'. Front Elevation





"Exhibit A"

EXHIBIT "A": ADDITIONAL CONDITIONS:

1. Wisteria Drive shall not be connected to this proposed development.
2. Developer agrees to install an "Enhanced 40' wide Type III Bufferyard with a double staggered row of Nellie Stevens Hollies at a min. height of 10' at time of planting; 6' o.c. with a 3' tall berm along the side of lot 19, and back of lots 20 & 21 as shown on the site plan. Buffer shall be installed once erosion control is installed and at the beginning of the grading process.
3. In addition to the "Enhanced Bufferyard" in number 2 above; Developer agrees to install an additional buffer between the Arbors at Meadowlark and the proposed Robin Lark Circle. Buffer shall be on south side of the proposed drive and consist of a double staggered row of Nellie Stevens Hollies min. 8' height at time of planting; 10' o.c. as shown on Exhibit A. Developer shall install a 6' decorative black aluminum fence, at the back of sidewalk in this location as indicated on the Exhibit A. The fence shall connect to the existing Arbors at Meadowlark fencing and no gates, other than a locked gate for maintenance.
4. The Out Parcel nearest the Arbors at Meadowlark shall not allow the uses; Child Day Care Center, Restaurant (with drive through service), Veterinary Services. This out parcel shall not have illuminated wall signage on the eastern side of the building facing the Arbors at Meadowlark. No outdoor activities including patio dining, outdoor amplified music, grilling, 24 hour operations, bars, and ax throwing.
5. The monument sign in the Out Parcel nearest the Arbors at Meadowlark shall be limited to a 6' height.

WEST END

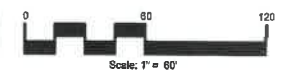
SUBMITTAL DATE: 03/06/2020

PROJECT NO: 19-057

PREPARED BY:

stimme 601 N. TRADE STREET, SUITE 200
WINSTON-SALEM, NC 27101
www.stimmeipa.com 336.723.1067
frontdesk@stimmeipa.com

LANDSCAPE ARCHITECTURE CIVIL ENGINEERING LAND PLANNING





March 27, 2020

JCS Properties North, LLC.
1207 Indian Trail
Apex, NC 27502

Bryce A. Stuart Municipal Building
100 E. First Street
P.O. Box 2511
Winston-Salem, NC 27102
CityLink 311 (336.727.8000)
Fax 336.748.3163
www.cityofws.org/planning

Re: Zoning Petition F-1592

Dear Petitioner:

The attached report of the Planning Board to the Forsyth County Board of Commissioners is sent to you at the request of the Commissioners. You will be notified by the Board of Commissioners' Office of the date on which the Commissioners will hear this petition.

Sincerely,

Aaron King
Director of Planning and Development Services

pc: Clerk to the Board of Commissioners, Forsyth County Government Center - 5th Floor, 201 N. Chestnut Street, Winston-Salem, NC 27101
Doug Stimmel, 601 North Trade Street, Suite 200, Winston-Salem, NC 27101
Ron Davis, 380-H Knollwood Street, Suite 253, Winston-Salem, NC 27103
Susan Loggins, and Billie Moses, 5284 Robinhood Road, Winston-Salem, NC 27106
William Loggins and Susan Loggins, 5264 Robinhood Road, Winston-Salem, NC 27106



City Council: Mayor Allen Joiner; Vivian H. Burke, Mayor Pro Tempore, Northeast Ward; Denise D. Adams, North Ward; Dan Besse, Southwest Ward; Robert C. Clark, West Ward; John C. Larson, South Ward; Jeff MacIntosh, Northwest Ward; Annette Scipio, East Ward; James Taylor, Jr., Southeast Ward; City Manager: Lee D. Garrity

County Commissioners: David R. Plyler, Chairman; Don Martin, Vice Chair, Fleming El-Amin; Ted Kaplan; Richard V. Linville; Tonya McDaniel; Gloria D. Whisenhunt; County Manager: Dudley Watts, Jr.

City-County Planning Board: Chris Leak, Chair; Melynda Dunigan, Vice-Chair; George M. Bryan, Jr.; Jason Grubbs; Tommy Hicks; Clarence R. Lambe, Jr.; John W. Sigers; Brenda J. Smith; Jack Steelman

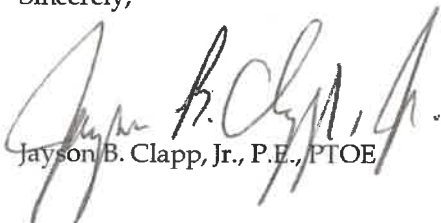
March 5, 2020

Jack Coupland
Adams Property Group
2298 Mt. Pleasant Street
Charleston, SC 29403

Dear Mr. Coupland

At the recent neighborhood meeting, residents expressed concerns with the increased traffic volumes on Zinfandel Street as a result of the interconnectivity that would be provided via Wisteria Drive. They are opposed to the idea of residents [of Brookberry Farm] in addition to traffic on Meadowlark Drive using Zinfandel Street and Wisteria Drive to access the commercial development, when direct access to the development will be provided on Meadowlark Drive. Based on an updated trip generation with internal capture [between the development and Brookberry Farm] removed to eliminate any perceived inconvenience to existing and future residents of Arbors at Meadowlark, the impact to Meadowlark Drive and Robinhood Road would be minimal, if any. Approximately 12 [new] trips would need to be redistributed to the remaining access points. Without the connection, no changes to traffic entering and exiting Zinfandel Street are expected.

Sincerely,



Jayson B. Clapp, Jr., P.E., PTOE

cc: Franklin Adams
Doug Stimmel, PLA, ASLA

**CITY-COUNTY PLANNING BOARD
STAFF REPORT**

PETITION INFORMATION	
Docket	F-1592
Staff	Gary Roberts, Jr., AICP
Petitioner(s)	JCS Properties North LLC, William Loggins and Susan Loggins, and Billie Moses
Owner(s)	Same
Subject Property	PINs 5896-55-6034, 5896-55-6694, and 5896-55-3561
Address	5220, 5264, and 5284 Robinhood Road
Type of Request	Special Use rezoning from RS9 to GB-S
Proposal	<p>The petitioner is requesting to amend the Official Zoning Map for the subject property from RS9 (Residential, Single Family – 9,000 sf minimum lot size) to GB-S (General Business – Special Use). The petitioner is requesting the following uses:</p> <ul style="list-style-type: none"> Residential Building, Duplex; Residential Building, Townhouse; Residential Building, Twin Home; Residential Building, Multifamily; Combined Use; Arts and Crafts Studio; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; Micro-Brewery or Micro-Distillery; Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store; Shopping Center; Shopping Center, Small; Wholesale Trade A; Banking and Financial Services; Offices; Services, A; Veterinary Services; Recreation Services, Indoor; Recreation Facility, Public; Swimming Pool, Private; Theater, Indoor; Child Care, Drop-In; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices, Neighborhood Organization, or Post Office; Institutional Vocational Training Facility; Museum or Art Gallery; Police or Fire Station; School, Private; Access Easement, Private Off-Site; Park and Shuttle Lot; and Utilities
Neighborhood Contact/Meeting	A summary of the petitioner’s neighborhood outreach is attached.
Zoning District Purpose Statement	The GB District is primarily intended to accommodate a wide range of retail, service, and office uses located along thoroughfares in areas which have developed with minimal front setbacks. However, the district is not intended to encourage or accommodate strip commercial development. The district would accommodate destination retail and service uses, characterized by either a larger single business use or the consolidation of numerous uses within a building or planned development, with consolidated access. This district is intended for application in Growth Management Areas (GMA) 1, 2, 3, and Metro Activity Centers.
Rezoning Consideration	Is the proposal consistent with the purpose statement(s) of the requested zoning district(s)?

from Section 3.2.15 A 13	Yes. The site is within an activity center located at the intersection of two thoroughfares. The proposed site plan shows a mixture of uses, including a destination retail shopping center.		
GENERAL SITE INFORMATION			
Location	Southwest corner of Robinhood Road and Meadowlark Drive		
Jurisdiction	Forsyth County		
Site Acreage	± 33.91 acres		
Current Land Use	The site is largely undeveloped with the exception of three single-family homes and associated accessory buildings.		
Surrounding Property Zoning and Use	Direction	Zoning District	Use
	North	IP, LB-L, LB, MU-S, LB-S, and RS9	Transmission tower, church, shopping center, and convenience store
	East	RS9	Single-family homes
	South	RS9 and MU-S	Single-family homes
West	IP and RS9	Undeveloped property and single-family homes	
Rezoning Consideration from Section 3.2.15 A 13	<p>Is/are the use(s) permitted under the proposed classification/request compatible with uses permitted on other properties in the vicinity?</p> <p>The proposed mixture of uses is compatible with the mix of uses permitted on the adjacent commercially zoned properties to the north. These uses are less compatible with the low-density residential uses permitted on the RS9 and MU-S properties to the south.</p>		
Physical Characteristics	The site includes some heavily wooded areas with mature trees. A small stream and wetland are located in the southeastern portion of the site, and a second stream runs along the western border of the site. The site has variable topography but generally slopes downward toward the southwest and south.		
Proximity to Water and Sewer	Public water and sewer service exist along Wisteria Drive and Sweetgrass Lane. Public water service exists along Robinhood Road and Meadowlark Drive.		
Stormwater/ Drainage	The proposed site plan shows a stormwater management area on the western end of the site.		
Watershed and Overlay Districts	The site is not located within a water supply watershed.		
Analysis of General Site Information	The relatively large and predominately undeveloped site is well positioned for development, being located at the intersection of two thoroughfares. The site is not located within a water supply watershed and is served with public water and sewer. The property includes some areas with challenging topography, as well as two small streams.		

RELEVANT ZONING HISTORIES						
Case	Request	Decision & Date	Direction from Site	Acreage	Recommendation	
					Staff	CCPB
W-3231	MU-S Site Plan Amendment	Approved 3/5/2012	Directly south	68.3	Approval	Approval
F-1496	LB-L to LB-L	Approved 3/10/2008	Directly north	1.19	Denial	Denial
F-1417a	RS9 to MU-S	Approved 9/12/2005	Directly north	34.14	Approval	Approval
F-1392	RS9 and RS9-S to MU-S	Approved 11/10/2003	Directly south	795	Approval	Approval
SITE ACCESS AND TRANSPORTATION INFORMATION						
Street Name	Classification	Frontage	Average Daily Trip Count	Capacity at Level of Service D		
Robinhood Road	Major Thoroughfare	747 feet	10,000	13,800		
Meadowlark Drive	Minor Thoroughfare	494 feet	13,000	15,300		
Wisteria Drive	Local Street	50 feet	N/A	N/A		
Sweetgrass Lane	Local Street	50 feet	N/A	N/A		
Proposed Access Point(s)	The proposed site plan includes an unrestricted access point from Robinhood Road on the western end of the site and right-in/right-out access at the midpoint of the Robinhood Road frontage, closer to the intersection with Meadowlark Drive. A right-in/right-out entrance with left-over access is proposed on Meadowlark Drive. An internal connection to Wisteria Drive will also be provided.					
Planned Road Improvements	The <i>Comprehensive Transportation Plan</i> recommends a four-lane, median-divided section with wide outside lanes and sidewalks for this portion of Robinhood Road. Meadowlark Drive is recommended for a three-lane section with wide outside lanes and sidewalks.					
Trip Generation - Existing/Proposed	<p><u>Existing Zoning:</u> RS9 $33.91 \text{ acres} \times 43,560 / 9,000 = 164 \text{ units} \times 9.57 \text{ (single-family trip rate)} = 1,569 \text{ trips per day}$</p> <p><u>Proposed Zoning:</u> GB-S Excluding pass-by and internal trips, the anticipated trip generation for the proposed development is approximately 6,000 vehicles per day. (See TIA comments below.)</p>					
Sidewalks	Sidewalks are proposed along Robinhood Road and Meadowlark Drive and along the internal private streets and parking areas.					
Transit	Not available.					

<p>Connectivity</p>	<p>The request includes a connection from the subject property to Wisteria Drive; however, it does not include a connection with Sweetgrass Lane, another stub that was provided by the development to the south. Connection to Sweetgrass Lane has been determined to be impractical due to topographic constraints involving a future natural gas transmission line that will traverse this portion of the subject property.</p>
<p>Transportation Impact Analysis (TIA)</p>	<p>(The full analysis can be read online: https://www.cityofws.org/DocumentCenter/View/12916/F-1592-PDF.)</p> <p>This mixed-use development is proposed to have four access points connecting to existing streets. Site Drive 1 is located at the intersection of Robinhood Road and Olivet Church Road, creating a fourth leg of the intersection. Site Drive 2 will be a right-in/right-out driveway off Robinhood Road between Olivet Church Road and Meadowlark Drive. Site Drive 3 is proposed off Meadowlark Drive using a left-over configuration. Site Drive 4 is an internal connection to an existing City street, Wisteria Drive. Streets internal to the site will be private.</p> <p>This proposed development will be a significant traffic generator, as demonstrated in the analysis. The proposed retail, high-turnover restaurants, supermarket, and substantial number of residential units will generate approximately 10,500 trips per day.</p> <p>However, several factors need to be considered related to projected trip generation. Mixed-use development of this nature will generally yield internal capture, which means that some of the trips generated will not be new trips, but rather trips that already occurred within the internal transportation network. For example, someone at a retail store may visit the drive through restaurant within the same development. That trip is not new and should be discounted. It should be further noted that more trips should be discounted as pass-by trips. These trips would have already been on Robinhood Road or Meadowlark Drive but are drawn into the proposed development. Essentially, a Brookberry resident stopping at the supermarket on his or her way home from work would generate a pass-by trip.</p> <p>Excluding pass-by and internal trips, approximately 6,000 trips per day are forecasted for the proposed development. Those trips are evaluated relative to the peak traffic times. During the AM peak, approximately 400 trips can be expected. During the PM peak, approximately 490 trips can be expected.</p> <p>Due to the substantial projected traffic increase, significant road improvements will be necessary and are listed below:</p> <p><u>Robinhood Road (between Olivet Church Road and Meadowlark Drive)</u></p> <ol style="list-style-type: none"> 1. Construction of a raised median to prohibit vehicles from making a

left turn into or out of the proposed development at Site Drive 2 (right-in/right-out).

2. Modification of the full eastbound left turn lane at Meadowlark Drive to provide an exclusive westbound left turn lane into the proposed development at Site Drive 1 and construction of the aforementioned median to provide a minimum of 200 feet of full storage and appropriate taper lengths for the eastbound [at Meadowlark Drive] and westbound [at Site Drive 1] exclusive left turn lanes.

Robinhood Road and Olivet Church Road/Site Drive 1

1. Restriping the exclusive through lane on the eastbound approach [of Robinhood Road] to a shared through-right turn lane.
2. Provision of a minimum of 200 feet of full storage and appropriate taper lengths for the new westbound left turn lane.
3. Provision of a three-lane cross-section [for Site Drive 1] consisting of one ingress and two egress lanes. For the egress movements, provision of an exclusive left turn lane and a shared through-right turn lane.
4. Restriping the shared left-right turn lane on the southbound approach [of Olivet Church Road] to a shared left-through-right turn lane.

Robinhood Road and Site Drive 2 (right-in/right-out)

1. Construction of an exclusive right turn lane on the eastbound approach [of Robinhood Road]. Provision of a minimum of 100 feet of full storage and appropriate taper length.
2. Provision of a two-lane cross-section for the proposed site access, including one ingress and one egress lane.

Meadowlark Drive and Site Drive 3 (left-over)

1. Provision of a left-over on Meadowlark Drive to permit left turn movements into the development while prohibiting left turn movements out.
2. Construction of an exclusive right turn lane on the southbound approach [of Meadowlark Drive]. Provision of a minimum of 100 feet of full storage and appropriate taper lengths.

Additionally, WSDOT will require that the developer and their traffic consultant provide traffic signal coordination plans for the two traffic signals on Robinhood Road at Meadowlark Drive and Olivet Church Road. Upon making all of these improvements, the level of service (LOS) for the signalized intersections is expected to be no worse than “C.” It should be further noted that significant delays and LOS “F,” may be experienced at the adjacent side streets located farther south on Meadowlark Drive as a result of this project, particularly at the intersection with Century Oaks Lane and Heron Ridge Road.

	<p>While this site is expected to generate significant traffic, pass-by and internal capture trips will reduce the overall traffic generation. Significant road improvements are required to minimize the expected impacts, such as delays for vehicles exiting side streets south of the proposed development. Despite the increased trip generation compared to existing conditions, WSDOT has reviewed the TIA and found the aforementioned improvements to be reasonable and appropriate.</p>		
Analysis of Site Access and Transportation Information	<p>The site has extensive frontage along a major and minor thoroughfare and is located at a signalized intersection. As noted previously, this request would generate approximately 6,000 new vehicular trips and will result in significant delays for vehicles exiting side streets onto Meadowlark Drive south of the proposed development.</p> <p>The proposed site plan shows the development will have four access points and staff has detailed above the extensive roadway improvements that will be necessary.</p>		
SITE PLAN COMPLIANCE WITH UDO CLEARCODE REQUIREMENTS			
Building Square Footage	Square Footage		Placement on Site
	Nonresidential: 82,100 Residential: 390,600 (including clubhouse)		North central and northeastern portions of the site
Units (by type) and Density	227 multifamily units on 23.63 acres = 9.61 units per acre		
Parking (Commercial)	Required	Proposed	Layout
	420 spaces	425 spaces	90-degree head-in
Parking (Residential)	Required	Proposed	Layout
	795 spaces	813 spaces	90-degree head-in and angled
Building Height	Maximum		Proposed
	60 feet		One (nonresidential) and three (residential) stories
Impervious Coverage	Maximum		Proposed
	N/A		43.91 percent
UDO Sections Relevant to Subject Request	<ul style="list-style-type: none"> • Section 4.6.10 General Business District • Section 5.2.70 Residential Building, Multifamily (use-specific standards) • Section 5.2.73 Retail Store (use-specific standards) 		
Complies with Section 3.2.11	(A) Legacy 2030 policies:	No	
	(B) Environmental Ord.	N/A	
	(C) Subdivision Regulations	Yes	
Analysis of Site Plan Compliance with UDO Requirements	<p>The proposed site plan shows a comprehensively designed shopping center with outparcels and an apartment complex. The multifamily buildings would be three stories in height. Approximately 5.57 acres in the southeastern portion of the site are designated as a tree save area. Stormwater management is shown in the southwestern portion of the site. The site plan meets UDO requirements.</p>		

CONFORMITY TO PLANS AND PLANNING ISSUES	
Legacy 2030 Growth Management Area	Growth Management Area 3 – Suburban Neighborhoods
Relevant Legacy 2030 Recommendations	<ul style="list-style-type: none"> • Promote a pedestrian-friendly orientation for new development and redevelopment and reduce the visual dominance of parking areas. • Discourage inappropriate commercial encroachment into neighborhoods. • Promote both horizontal and vertical mixed-use within designated activity centers.
Relevant Area Plan(s)	<i>West Suburban Area Plan Update (2018)</i>
Area Plan Recommendations	<ul style="list-style-type: none"> • The plan recommends high-density residential (over 18 dwelling units per acre) use for the subject property. • The site is located within the Robinhood Village Activity Center which contains approximately 125 acres and is located at the intersection of Robinhood Road, Meadowlark Drive, and Olivet Church Road. • This activity center serves the west central portion of the planning area. This activity center is anchored by the Robinhood Village shopping center that is designed to feel like a small-town downtown. The development has two-story buildings, sidewalks, street trees, large expanses of transparent glass, and other elements of pedestrian-oriented design. The shopping center is anchored by a grocery store and is developed with both sit-down and fast food restaurants, a branch bank, a gas station, a drug store, and personal service shops. A multifamily development has been constructed immediately to the west that has integrated street and pedestrian access with the shopping center. • Land uses should be linked to each other and adjoining properties through vehicular and pedestrian connections.
Site Located Along Growth Corridor?	The site is not located along a growth corridor.
Site Located within Activity Center?	The site is located within the Robinhood Village Activity Center.
Addressing	The proposed street names have been approved by MapForsyth. Addresses will be assigned during the platting phase.
Rezoning Consideration from Section 3.2.15 A 13	Have changing conditions substantially affected the area in the petition?
	No
	Is the requested action in conformance with Legacy 2030?
	No. See comments below.

Analysis of
Conformity to
Plans and
Planning Issues

The proposed GB-S rezoning would permit the development of a large-scale, mixed-use development. The request is comparable in scale and proposed use types to the existing Village at Robinhood development directly across Robinhood Road.

The *West Suburban Area Plan Update* identifies this site as being within the Robinhood Village Activity Center. The recommended use for the entire 33.91-acre site is high-density residential. Commercial development was specifically discouraged at this location due to the amount of existing commercial square footage within the shopping center directly across Robinhood Road from the subject property and the previously approved (yet undeveloped) 300,000 square feet of commercial development farther south along Meadowlark Drive (zoning case F-1392).

While the extensive commercial component of the request represents a significant departure from the adopted area plan, staff acknowledges that the proposed mixed-use site plan is comprehensively designed and allows for a more coordinated approach to transportation improvements, tree preservation, and stormwater management.

Beyond the larger matter of land use, staff has concerns about the visual impact of this development along Robinhood Road, as well as how it would affect the immediately adjacent low-density residential neighborhood to the south. Rather than lining the highly visible Robinhood Road frontage with over 500 feet of continuous head-in parking, staff would rather see a more inviting pedestrian streetscape, which is consistent with *Legacy* and the recently adopted area plan. Examples of such a streetscape would include buildings located close to the street, extensive decorative landscaping, and eliminating parking that faces Robinhood Road.

We are also concerned about the lack of street connectivity with surrounding development. An interconnected street system is necessary to promote orderly and safe development, provide adequate access for emergency and service vehicles, allow for alternate transportation routes, and disperse traffic and thereby lessen traffic congestion. Although the proposed development is not directly compatible with the adjacent neighborhood, better design and transitions in use intensity and scale could alleviate concerns about a direct connection to the adjacent single-family neighborhood.

Staff could support a residential development at this location that provides a sensitively scaled transition of higher-density buildings along Robinhood Road to lower-density multifamily buildings that blend with the existing single-family homes to the south and southeast. However, because the proposed development is not in line with the area plan and *Legacy*, nor does it protect view corridors along Robinhood Road and Meadowlark Drive, nor does it provide a reasonable transition in use

	intensity toward the south, staff is unable to support the development as currently proposed.
CONCLUSIONS TO ASSIST WITH RECOMMENDATION	
Positive Aspects of Proposal	Negative Aspects of Proposal
The request includes a significant multifamily residential component, which is consistent with the <i>West Suburban Area Plan Update</i> .	The request includes a substantial commercial component that is not supported by the area plan.
	The proposed plan does not provide a reasonable transition in use intensity or scale at the proposed connection with Wisteria Drive.
The request proposes a walkable mixture of commercial and residential uses located within an activity center.	Placement of the anchor building is not pedestrian-friendly and includes an extensive row of highly visible, head-in parking along Robinhood Road.
	The request would locate commercial zoning directly adjacent to single-family homes.
	The request would add a significant amount of new, high-turnover traffic to the area.
SITE-SPECIFIC RECOMMENDED CONDITIONS OF APPROVAL	
<p>The following conditions are proposed from interdepartmental review comments to meet established standards or to reduce negative off-site impacts:</p> <ul style="list-style-type: none"> • <u>PRIOR TO THE ISSUANCE OF GRADING PERMITS:</u> <ol style="list-style-type: none"> a. Developer shall obtain all necessary permits (including stormwater) from the North Carolina Department of Environmental Quality (NCDEQ) and/or the US Army Corp of Engineers. b. Developer shall obtain a driveway permit from the City of Winston-Salem and NCDOT; additional improvements may be required prior to issuance of driveway permit(s). Required improvements include: <ul style="list-style-type: none"> • Installation of sidewalk, curb, and gutter along Robinhood Road and Meadowlark Drive; • <u>Robinhood Road (between Olivet Church Road and Meadowlark Drive)</u> <ul style="list-style-type: none"> ○ Construction of a raised median to prohibit vehicles from making a left turn into or out of the proposed development at Site Drive 2 (right-in/right-out); ○ Modification of the full eastbound left turn lane at Meadowlark Drive to provide an exclusive westbound left turn lane into the proposed development at Site Drive 1 and construction of the aforementioned median to provide a minimum of 200 feet of full storage and appropriate taper lengths for the eastbound [at Meadowlark Drive] and westbound [at Site Drive 1] exclusive left turn lanes; • <u>Robinhood Road and Olivet Church Road/Site Drive 1</u> <ul style="list-style-type: none"> ○ Restriping the exclusive through lane on the eastbound approach [of Robinhood Road] to a shared through-right turn lane. ○ Provision of a minimum of 200 feet of full storage and appropriate taper lengths for the new westbound left turn lane. ○ Provision of a three-lane cross-section [for Site Drive 1] consisting of one ingress and two egress lanes. For the egress movements, provision of an exclusive left turn lane and a shared through-right turn lane. ○ Restriping the shared left-right turn lane on the southbound approach [of 	

Olivet Church Road] to a shared left-through-right turn lane.

- **Robinhood Road and Site Drive 2 (right-in/right-out)**
 - Construction of an exclusive right turn lane on the eastbound approach [of Robinhood Road]. Provision of a minimum of 100 feet of full storage and appropriate taper length.
 - Provision of a two-lane cross-section for the proposed site access, including one ingress and one egress lane.
- **Meadowlark Drive and Site Drive 3 (left-over)**
 - Provision of a left-over on Meadowlark Drive to permit left turn movements into the development while prohibiting left turn movements out.
 - Construction of an exclusive right turn lane on the southbound approach [of Meadowlark Drive]. Provision of a minimum of 100 feet of full storage and appropriate taper lengths.
- c. Developer shall cordon off all areas shown on the site plan as stream buffer areas and tree save areas. These areas shall be retained and not disturbed. Vegetation in all such areas shall be protected from grading encroachment in accordance with UDO requirements.
- **PRIOR TO THE SIGNING OF PLATS:**
 - a. Developer shall complete all requirements of the City of Winston-Salem and NCDOT driveway permit(s).
 - b. All NCDEQ requirements shall be completed.
- **PRIOR TO THE ISSUANCE OF BUILDING PERMITS:**
 - a. The proposed multifamily building plans shall be in substantial conformance with the submitted elevations as verified by Planning staff.
 - b. As volunteered by the developer, all retail/commercial buildings shall have similar design and materials. Primary building materials may consist of brick and brick veneer, wood and fiber cement siding, or concrete masonry units provided they are split face and textured. Additional accent materials may consist of stone, stone veneer, and cultured stone or stucco.
 - c. Rooftop HVAC equipment shall be screened from view from Robinhood Road and Meadowlark Drive.
- **PRIOR TO THE ISSUANCE OF OCCUPANCY PERMITS:**
 - a. Developer shall complete all requirements of the driveway permit(s).
 - b. Buildings shall be constructed in substantial conformance with the approved building elevations as verified by Planning staff.
- **OTHER REQUIREMENTS:**
 - a. Freestanding signage shall be limited to the following:
 - One sign with a maximum height of eight (8) feet and a maximum copy area of fifty (50) square feet for the shopping center entrance on Meadowlark Drive.
 - One sign with a maximum height of eighteen (18) feet and a maximum copy area of one hundred (100) square feet for the main entrance on Robinhood Road.

STAFF RECOMMENDATION: Denial

NOTE: These are **staff comments** only; the City-County Planning Board makes **final recommendations** on proposals, and **final action** is taken by the appropriate Elected Body, which may approve, deny, continue or request modification to any request. **THE APPLICANT OR REPRESENTATIVE IS STRONGLY ENCOURAGED TO ATTEND THE PUBLIC HEARINGS WHERE THE CASE WILL BE CONSIDERED BY THE PLANNING BOARD AND THE ELECTED BODY.**

**CITY-COUNTY PLANNING BOARD
PUBLIC HEARING
MINUTES FOR F-1592
MARCH 12, 2020**

Gary Roberts presented the staff report.

During the staff report, Jeff Fansler spoke on behalf of WSDOT:

- This area is a significant traffic generator. Significant improvements are shown and have been committed to by the developer as a result of the Traffic Impact Analysis (TIA) that was prepared.
- Gary mentioned this project would add 6,000 trips; as an element of transparency, it needs to be stated that this site actually generates significantly more than 6,000 trips. 6,000 new trips were indicated for a couple of reasons, one being internal capture. That means this project contains residential and commercial development, and folks that may live there, or may be going to one of the other facilities in the proposed development, may make another trip to another facility in the development. These trips are “captured internally,,,” and are not new trips that will be going to the development independently.
- In addition, pass-by trips are a critical element here. Meadowlark and Robinhood both have fairly significant traffic on them already, and pass-by trips basically discount some trips generated by this project because the vehicles are already on Meadowlark, already on Robinhood, and if folks are headed home from work, they may stop at a restaurant or something else within this development.

Jeff talked about how WSDOT plans to handle those trips through signal improvements, a median, and turn lanes that will mitigate some of the expected traffic. Jeff also spoke to right-in/right-out accommodations that will lead drivers back to the signal at Meadowlark, as well as the left-over on Meadowlark, which is a treatment that allows right-in/ right-out, and left-in traffic at a development entrance but does not allow left-out movements.

This project will cause some expected delays farther south on Meadowlark that will decrease over time.

Jack Steelman asked how the road widening plans farther south along Meadowlark will help with traffic.

Jeff responded that the City has a bond project that will affect Meadowlark in its entirety, which includes street widening in select areas, common turn lanes, and pedestrian improvements. Those improvements were modeled and taken into consideration as part of the TIA. Traffic

generation of this magnitude will have a negative impact regardless of the project details. Some side street delays are expected, but nothing that is atypical of this scale of project.

Jack asked if Jeff expected the schedule for the two projects to coincide.

Jeff could not speak to the schedule of the developer but did say that WSDOT was actively trying to get the City's bond project out to bid for the widening of Meadowlark before the end of the year. Changes have been discussed, such as how to handle traffic around the schools.

George Bryan asked if WSDOT had changed the speed limit on Meadowlark, which was a previous suggestion, and if not, were they anticipating doing so in the future.

Jeff responded that, to his knowledge, they were not anticipating doing that, but that he would follow up on that inquiry.

George asked how shoppers at this intersection would get from one area to another most efficiently.

Jeff said that he would encourage drivers leaving this site to go to Robinhood Village to exit via the traffic signal at Olivet Church Road and take a right to travel toward the traffic signal at Robinhood and Meadowlark. There was also discussion about the increased traffic that may be using Robinhood to access the future Northern Beltway.

PUBLIC HEARING

FOR:

Doug Stimmel, 601 North Trade Street, Suite 200, Winston-Salem 27101

- I am representing Adams Property Group. We are very pleased that we have made significant progress with the neighborhoods to the south of us. We have had good neighborhood input, and since the time that the staff report was done, we have made a number of agreements and concessions with the neighborhood. I think the majority of folks that are here today with both The Arbors at Meadowlark and Brookberry are supportive of this proposal, as we have it proposed, and with the conditions that we are adding.
- For our neighborhood outreach, we invited 128 households; 39 households attended that meeting and we had good discussion, and we are addressing the majority of concerns that were raised at that meeting.
- We have created green space, a dog park, moved the clubhouse, and provided extensive sidewalks throughout the development. [Mr. Stimmel directed the Board to the red X's on his plan] Connectivity from this site to Sweetgrass was not possible due to a significant gas line being located in this area. Funneling all Brookberry traffic to access this project through Wisteria Lane was not fair to the neighborhood. Having all traffic leave the neighborhood through this one access point does not make sense. The neighborhood agrees with us, and we agree with them.

Mr. Stimmel went over the changes that were made as a result of the neighborhood meeting.

Ron Davis, 380-H Knollwood Street, Suite 253, Winston-Salem 27103

- I am the developer of The Arbors at Meadowlark; I am president of the Arbors at Meadowlark Homeowners' Association; manager of Meadowlark Developers, LLC; a member of the Winston-Salem Homebuilders' Association; and author of the Change.org online petition that you have received. The comments on the petitions you have in your package are all based on non-emotional analysis. There are 15 items that conflict with earlier plans of the UDO and the Robinhood Area Plan. The petitions have continued to collect signatures in oppositional support. There are in excess of a thousand signatures against the development plan that was in place prior to Thursday, March 5th.
- You do not have to be a traffic engineer to see that Wisteria would be a shortcut into this development, particularly with a stack of traffic out there on Meadowlark, or in the morning when there is a stack waiting to turn right out. That puts the residents on this street at risk. Those homes have frontload garages.
- When this thing first hit, we immediately had a couple of lot cancellations, and we had several home sales lost from seeing this proposal in its initial form. Fortunately, we have been able to work with Adams Property Group and Mr. Stimmel and revise the plans you're seeing before you tonight. I would like to compliment them for their willingness to make those changes. With minimal approval of the site plan and changes in additional conditions that you see on Exhibit A, and on the revised site plan, we are withdrawing those petitions and recommending approval of the current site plan. We feel they have created this transition zone with buffers and conditions and elevation changes and fences that would be protecting our neighborhood as the UDO and Robinhood Area Plan recommend. So, we look forward to having additional shopping opportunities in the area.

AGAINST: None

WORK SESSION

Melynda Dunigan stated that the staff report gives the number of trips per day under the existing RS9 zoning as 1,569 trips. Melynda asked staff if they had looked at the potential for what's in the recommended area plan, which is more dense apartments, and if staff could give a ballpark figure of how many extra trips that would be compared to the 6,000 for the proposed development.

Gary stated that at 610 units and 6.65 trips per unit, the trip count comes to approximately 4,000 - about 2,000 fewer than what is being proposed, and 2,500 trips more than what is allowed in the current zoning district.

George asked Aaron King if staff's recommendation is still denial.

Aaron responded that staff's denial recommendation is based on the fact that the area plan recommends multifamily for the site, and he hasn't seen any change in conditions that would

warrant looking at that recommendation differently. There is already existing land zoned for commercial use in this corridor.

George asked what kind of agreement or acclamation there was in the neighborhood about the recommendation of use of that land, how long ago it was, and what kind of expectations the people living in The Arbors at Meadowlark and Brookberry should have that it was going to remain residential.

Kirk Ericson stated that staff had representation in the area plan meetings from residents living along the Meadowlark corridor, and one thing that was heard repeatedly was a concern about traffic along Meadowlark Drive. Kirk also stated that staff heard, at least during the time of the area plan, that the shopping center at the Village at Robinhood didn't have as strong of an occupancy rate as Mr. Stimmel stated in his comments. There was a feeling at the time that maybe there wasn't a need for more commercial development in the area, that maybe it would be better to have a "stepping down,, of different densities of multifamily development to transition from the commercial area of Robinhood Village to the residential area. There are 300,000 square feet of commercial development approved just a couple miles south on Meadowlark Drive.

Jack Steelman stated that there is additional land in the immediate area zoned for commercial development, and no one has taken it after years of being available.

Jack added that the intensity and volume of traffic at Robinhood and Meadowlark is a real concern, and one that is a better situation for commercial, rather than residential development. Jack stated that he wouldn't want to live in an apartment fronting that street, and that he was confident given how conservative Mr. Fansler is with the work he does with the City, that the required improvements that have been agreed to at Robinhood and Meadowlark are going to be effective. Jack recommended that Services, B not be included as a permitted use.

Mr. Stimmel stated that many uses were eliminated in agreement with the neighborhood.

MOTION: George Bryan recommended that the Planning Board find that the request is inconsistent with the comprehensive plan.

SECOND: Melynda Dunigan

VOTE:

FOR: George Bryan, Melynda Dunigan, Tommy Hicks, Chris Leak

AGAINST: Johnny Sigers, Jack Steelman

EXCUSED: Brenda Smith

MOTION: George Bryan recommended denial of the zoning petition.

SECOND: Melynda Dunigan

VOTE:

FOR: George Bryan, Melynda Dunigan

AGAINST: Tommy Hicks, Chris Leak, Johnny Sigers, Jack Steelman

EXCUSED: Brenda Smith

MOTION: Johnny Sigers recommended approval of the zoning petition with modified conditions by staff and the changes offered by the petitioner.

SECOND: Jack Steelman

VOTE:

FOR: Tommy Hicks, Chris Leak, Johnny Sigers, Jack Steelman

AGAINST: George Bryan, Melynda Dunigan

EXCUSED: Brenda Smith

Melynda stated that her concern with this project has more to do with the overall impact to the entire area beyond a particular neighborhood, with the traffic impact in particular, and with the fact that the additional commercial area (300,000 square feet approved on the other side of Meadowlark), should that be developed, would create its own very impactful situation for the whole Meadowlark corridor. She would rather see the site developed as the area plan recommends.

Johnny Sigers stated that he felt the Board should take into consideration how the people feel that live in the adjacent neighborhood. He stated that the proposed shopping center is about the people, it is not about anyone else but these people, and if they are in favor of the shopping center, the Board should take this into consideration in its vote.

Aaron King

Director of Planning and Development Services

USES ALLOWED IN THE EXISTING RS9 ZONING DISTRICT

Forsyth County Jurisdiction

USES ALLOWED WITH A PERMIT FROM THE ZONING OFFICER (Z)

Adult Day Care Home
Agricultural Production, Crops
Agricultural Production, Livestock
Child Day Care, Small Home
Church or Religious Institution, Neighborhood
Family Group Home A
Police or Fire Station
Recreation Facility, Public
Residential Building, Single Family
Swimming Pool, Private
Transmission Tower (see use-specific standards
in *UDO ClearCode*)

USES ALLOWED WITH REVIEW BY THE PLANNING BOARD (P)

Church or Religious Institution, Community
Golf Course
Library, Public
Limited Campus Uses
Planned Residential Development
School, Private
School, Public
Utilities

USES ALLOWED WITH SPECIAL USE PERMIT FROM ZONING BOARD OF ADJUSTMENT (A)

Bed and Breakfast
Child Day Care, Large Home
Habilitation Facility A
Manufactured Home, Class A
Park and Shuttle Lot
Transmission Tower

USES ALLOWED WITH SPECIAL USE PERMIT FROM ELECTED BODY (E)

Access Easement, Private Off-Site⁵
Parking, Off-Site, for Multifamily or
Institutional Uses

⁵*SUP not required if standards of Section 5.2.2A are met*



F-1592 West End (Special Use District Rezoning)

Bryce A. Stuart Municipal Building
100 East First Street, Suite 225
Winston-Salem, NC 27101
Fax: 336-748-3163



Phone: 336-747-7065

City of W-S Planning

Stephen Owen
Stimmel Associates, PA
601 North Trade Street
Suite 200
Winston Salem, NC 27101

Project Name: F-1592 West End (Special Use District Rezoning)
Jurisdiction: City of Winston-Salem
ProjectID: 360283

Wednesday, February 19, 2020

The comments listed below reflect remaining issues that must be addressed before your request can proceed to the Planning Board. All outstanding issues included in this list must be satisfactorily addressed on the revised site plan and re-submitted back to Planning staff no later than 5:00pm on the Thursday two weeks before (14 days prior to) the Planning Board meeting.

Open Issues: 25

Engineering

General Issues

33. Driveway Permit required

City of Winston-Salem
Ryan Newcomb
3367278063
ryanncn@cityofws.org
2/19/20 8:43 AM
01.03) Rezoning-
Special Use District - 2

A City driveway permit will be required for the proposed access point onto Meadowlark Drive. The access will need to be a heavy duty concrete apron to support dumpster pickup and tractor trailer delivery traffic (8" 4,000 psi concrete over 6" compacted ABC). The concrete apron shall extend from the edge of pavement on Meadowlark Drive to the right-of-way line. The driveway permit must be issued prior to issuance of a grading permit (if required). Design plans for proposed improvements within the right-of-way must be submitted and approved as part of the driveway permit approval process.

Erosion Control

General Issues

13. Erosion Control Plan Needed

City of Winston-Salem
Matthew Osborne
336-747-7453
matthewo@cityofws.org
2/6/20 8:57 AM
01.03) Rezoning-
Special Use District - 2

If the proposed project creates more than 10,000 sq. feet of land disturbance, an Erosion Control/Grading Permit will be required prior to the start of work. In order to obtain this permit you must submit a professionally designed Erosion and Sedimentation Control Plan along with an original signed/notarized Financial Responsibility/Ownership (FRO) form for review and approval. Please submit the plan through the electronic plan review portal at the following link: <https://winston-salem.idtplans.com/secure/>

Fire/Life Safety

General Issues

15. Notes

City of Winston-Salem
(Fire)
Douglas Coble
(336) 734-1290
douglasc@cityofwsfire.org
2/7/20 6:52 AM
01.03) Rezoning-Special
Use District - 2

FDC shall be within 100' of a public hydrant.

Hydrants shall be within 500' of all portions of the building measured the way in which the fire apparatus would travel.

Fire access roads shall extend to within 150' of all portions of the building.

As part of your construction plan submittal, include the calculations for needed fire flow for this project and indicate the approved method of calculation in use. Refer to Section 507 of the 2018 NC Fire Code for further information. Approved calculation methods include the following options:

- the ISO Fire Suppression Rating Schedule (as described in <https://www.isomitigation.com/siteassets/downloads/guide-determinerequiredfireflow.pdf>), or
- Appendix B of the 2018 NC Fire Code

Emergency responder radio coverage shall meet the requirements of Section 510 of the 2018 NC Fire Code for this project. Consider how these requirements, including any systems necessary to bring radio coverage into compliance with this section, may impact your plans.

Fire/Life Safety County

General Issues

30. Fire Apparatus Access Road

Forsyth County Fire
Department
Mark Johnson
336-703-2563
johnsome@forsyth.cc
2/17/20 1:23 PM
01.03) Rezoning-
Special Use District - 2

Where the vertical distance between the grade plane and the highest roof surface exceeds 30', an approved aerial fire apparatus access roads shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26', exclusive of shoulders, in the immediate vicinity of the building or portion thereof.

32. Notes

Forsyth County Fire Department - Considerations of emergency responder radio coverage shall meet Section 510 of the 2018 NC Fire Code.
 Mark Johnson
 336-703-2563 - Need fire flow calculations
johnsome@forsyth.cc
 2/17/20 2:24 PM - Show fire hydrants spacing at 500'
 01.03) Rezoning-
 Special Use District - 2 - FDC shall be installed no more than 100' from a hydrant unless approval from AHJ

IDTP

2020.01.27 REZN (Pre-submittal) (19-057).pdf [12 redlines] (Page 1) [1] 19-057 REZN-30x42 REZN

10. COUNCIL MEMBER CONTACT B

City of Winston-Salem ALTHOUGH THIS REZONING IS ENTIRELY WITHIN THE COUNTY, IT WOULD BE ADVISABLE THAT YOU CONTACT YOUR APPROPRIATE COUNCIL MEMBER (WEST WARD) PRIOR TO ARRANGING THE NEIGHBORHOOD MEETING. THIS MEETING IS TO TAKE PLACE BEFORE THE PLANNING BOARD PUBLIC HEARING.
 Bryan Wilson
 336-747-7042
bryandw@cityofws.org
 1/29/20 9:00 AM
 Pre-Submittal Workflow
 - 1

Stimmel Associates, PA Council member and commissioners have been contacted.
 Stephen Owen
 (336)7231067
sowen@stimmelpa.com
 1/30/20 10:17 AM
 Pre-Submittal Workflow
 - 1

Inspections

General Issues

29. Zoning

City of Winston-Salem
Jeff Hunter
336-727-2626
jeffph@cityofws.org
2/17/20 11:33 AM
01.03) Rezoning-
Special Use District - 2

- A grading permit will be required.
- Parking for the shopping center use only may apply the shopping center parking calculation of 1/275 square feet or individual zoning use parking calculations can apply. Please show the parking calculations for the residential multi-family uses as indicated in the UDO (i.e. 1 bedroom – 1.5 parking spaces per dwelling unit X number of units etc).
- The 7,200 SF retail building will require a 5' pedestrian walkway between the building entrance and the sidewalk designated public street.
- Exterior lighting must comply with Section 6.6 of the UDO "Exterior Lighting."
- Label the location of the mail kiosk.
- Parking adjacent to sidewalks that are less than 7' in width require anchored wheel stops.
- The Retail Store use requires compliance with Section 5.2.73 of the UDO "Building Materials."
- Retaining walls require separate permits.
- Assuming this site will be under common ownership and no cross access easements will be required?
- Label the zoning district of all adjacent parcels.
- Landscaping: Document the type of vegetation, height and spacing requirements per UDO standards for the 1) streetyard 2) motor vehicle surface areas 3) required bufferyards.
- Signage requires separate permits.

MapForsyth Addressing Team

General Issues

31. Addressing & Street Naming

Forsyth County
Government
Gloria Alford
3367032337
alfordgd@forsyth.cc
2/17/20 1:41 PM
01.03) Rezoning-
Special Use District - 2

ROBIN LARK CIR IS APPROVED. NEED FLOOR PLANS

NCDOT

General Issues

18. NCDOT Comments

NCDOT Division 9
Victoria Kildea
336-747-7900
vrkildea@ncdot.gov
2/12/20 10:12 AM
01.03) Rezoning-
Special Use District - 2

- Remove pork chop island at entrance on Robinhood Road
- Island width on Robinhood Road not shown, needs to be 4' wide
- NCDOT driveway permit required
- NCDOT encroachments required for any utility ties in the right of way as well as encroachment for road improvements
- Contact JP Couch @ 336-747-7800 to obtain an NCDOT & developer signal agreement

Planning

General Issues

9. Design

City of Winston-Salem
Gary Roberts
336-747-7069
garyr@cityofws.org
2/13/20 10:54 AM
01.03) Rezoning-

Special Use District - 2
The commercial aspect of this request is inconsistent with the high density residential land use recommended in the West Suburban Area Plan. Provide a mixture of multifamily building types with a sensitive transition to the single family homes located to the south and east. Provide an additional connection to Sweetgrass Trail Lane. IF private, a public access easement will be required.
Staff recommends that you front additional retail buildings up to Robinhood/Meadowlark and place parking internal to the site. Staff will recommend against any head-in parking towards Robinhood Rd.

[Ver. 5] [Edited By Bryan Wilson]

**Stimmel Associates,
PA**

Stephen Owen
(336)7231067

sowen@stimmelpa.com

1/30/20 10:13 AM

Pre-Submittal Workflow

- 1

Environmental / Utility constraints prevent additional stub connections. NCDOT and WSDOT have reviewed stub concerns and ownership status and plan reflects agreement.

[Ver. 2] [Edited By Stephen Owen]

12. CAC/Greenway

City of Winston-Salem No comment.

Amy Crum

336-747-7051

amyc@cityofws.org

2/5/20 2:47 PM

01.03) Rezoning-

Special Use District - 2

14. CPAD

City of Winston-Salem
Kelly Bennett
336-727-8000
kellyb@cityofws.org
2/6/20 11:12 AM
01.03) Rezoning-
Special Use District - 2

The West Suburban Area Plan Update (2018) recommends High-Density Residential (over 18 DU/ac) land use for the subject property, which is located in the Robinhood Village Activity Center, described below with more detailed recommendations. Pertinent recommendations are underlined.

"The Robinhood Village Activity Center contains approximately 125 acres and is located at the intersection of Robinhood Road, Meadowlark Drive, and Olivet Church Road (see Figure 2 below). This activity center serves the west central portion of the planning area. This activity center is anchored by the Robinhood Village shopping center that is designed to feel like a small-town downtown. The development has two-story buildings, sidewalks, street trees, large expanses of transparent glass, and other elements of pedestrian-oriented design. The shopping center is anchored by a grocery store and is developed with both sit-down and fast food restaurants, a branch bank, a gas station, a drug store, and personal service shops. A multifamily development has been constructed immediately to the west that has integrated street and pedestrian access with the shopping center. Older automotive-related uses are located to the west of the shopping center at the northwest corner of Robinhood Road and Olivet Church Road. A volunteer fire department is located to the east of the shopping center on the north side of Robinhood Road. The south side of Robinhood Road and the west side of Olivet Church Road within the activity center are presently developed with single-family homes.

Most future development in this activity center will be of primarily undeveloped sites. A significant amount of multifamily and low-density attached development is proposed to the south and west of the shopping center. New development in this activity center should include:

- Commercial uses located immediately to the east of the volunteer fire department transitioning to low-intensity office or commercial uses at the eastern edge of the activity center on the north side of Robinhood Road.
- Commercial uses located on Robinhood Road and Olivet Church Road having a pedestrian-oriented urban form with buildings near the street featuring transparent windows and doors, facade articulation, and parking to the side or rear of buildings.
- Low-density attached residential uses located on the east side of the activity center between Robinhood Road and Meadowlark Drive. Several parcels should be assembled before increasing density here to allow fewer access points to Robinhood Road and Meadowlark Drive.
- High-density residential uses located on the south side of Robinhood Road across from Robinhood Village shopping center.
- Low-density attached residential uses located along the west side of Olivet Church Road at the northwest corner of the activity center, north of existing commercial uses.
- Land uses should be linked to each other and adjoining properties through vehicular and pedestrian connections.
- Installation of bufferyards, street yards, and parking area plantings should occur where feasible."

19. Historic Resources

City of Winston-Salem No comments
Heather Bratland
336-727-8000
heatherb@cityofws.org
2/12/20 4:41 PM
01.03) Rezoning-
Special Use District - 2

21. Proposed Uses

City of Winston-Salem Staff will recommend a reduction in requested uses.

Bryan Wilson

336-747-7042

bryandw@cityofws.org

2/13/20 10:58 AM

01.03) Rezoning-

Special Use District - 2

34. Consistency

City of Winston-Salem The development, as proposed, is not consistent with the area plan and cannot be recommended for approval by Planning staff. Conditions in the area have not changed such that commercial needs of the area cannot be met by the existing nodes to the north and south along Meadowlark Road.

Desmond Corley

336-727-8000

desmondc@cityofws.org

2/19/20 3:11 PM

01.03) Rezoning-

Special Use District - 2

However, moving forward, staff will recommend a condition limiting the size of signage to be more consistent with sizes allowed in Winston-Salem.

Staff will be working with the applicant to come up with conditions related to building design and compatibility, as well as appropriate uses.

Sanitation

2019.10.18 TIA - Robinhood Road Development (sealed 10-16-19).pdf [0 redlines]

16. Bulk Container Information

City of Winston-Salem

Jennifer Chrysson

336-727-8000

jenniferc@cityofws.org

2/7/20 2:38 PM

01.03) Rezoning-

Special Use District - 2

Bulk Containers: All surfaces constructed for the placement of bulk containers shall be constructed of concrete with a thickness of at least eight inches. All surfaces constructed for the placement of bulk containers shall be at least 16 feet in length and at least 12 feet in width.

Location and placement: Bulk containers shall be located to provide easy ingress and egress by a container tender truck to the containers. The location of the container shall be free from any overhanging wires or other obstructions which have less than 35 feet of vertical clearance and 40 feet linear clearance of overhead obstruction in the dumping area. All screens or enclosures shall be open on one side for easy access and provide a three-foot clearance on all sides from the bulk container.

Stormwater

General Issues

11. No City of Winston-Salem Jurisdiction

City of Winston-Salem Joe Fogarty
336-747-6961
josephf@cityofws.org
2/5/20 1:44 PM
01.03) Rezoning-
Special Use District - 2

This development is located in the County and is therefore not within my jurisdiction as regards Stormwater management reviews/permitting. Please contact the appropriate Stormwater management review authority to see what, if anything, may be required as regards Stormwater management permitting.

Utilities

General Issues

17. General Comments

City of Winston-Salem Charles Jones
336-727-8000
charlesj@cityofws.org
2/13/20 8:48 AM
01.03) Rezoning-
Special Use District - 2

Any existing water and/or sewer connections will require evaluation for compliance with backflow preventer requirements, connection serviceability, and/or termination at the main. Any services that are not intended to be reused will be terminated at the main. Submit water and sewer extension plans to Utilities Plan Review for permitting/approval. Water meters purchased through the COWS. Be aware of the Utilities System Development Fees that will be charged for each new meter purchase. All water connections will require a backflow preventer. Any DI pipe within the gas line easement may require cathodic protection.

[Ver. 2] [Edited By Charles Jones]

WSDOT

General Issues

22. General Comments

City of Winston-Salem David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:30 PM
01.03) Rezoning-
Special Use District - 2

Coordinate road improvements with the Meadowlark widening project. Contact city engineering department.

2020.02.04 REZN (Submittal) (19-057).pdf [13 redlines] (Page 1)

23. Callout B

City of Winston-Salem David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:36 PM
01.03) Rezoning-
Special Use District - 2

Recommend removing crosswalk.

24. Callout B

City of Winston-Salem David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:36 PM
01.03) Rezoning-
Special Use District - 2

Relocate Crosswalk to bulbouts.

25. Callout B

City of Winston-Salem Recommend shifting crosswalk closer to intersection.
David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:36 PM
01.03) Rezoning-
Special Use District - 2

26. Callout B

City of Winston-Salem Recommend building sidewalk to intersection of Wisteria and Zinfandel
David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:36 PM
01.03) Rezoning-
Special Use District - 2

27. Callout B

City of Winston-Salem Show road/intersection improvements clearly
David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:36 PM
01.03) Rezoning-
Special Use District - 2

28. Callout B

City of Winston-Salem Extend island
David Avalos
336-727-8000
davida@cityofws.org
2/13/20 4:36 PM
01.03) Rezoning-
Special Use District - 2

Neighborhood Outreach Summary Report West End Mixed Use Development

Zoning Case F-1592

On February 20, 2020 from 5:30 pm to 7:00 pm, a neighborhood drop-in meeting was held regarding the West End Mixed Use Development on Robinhood Road. Invitation letters were sent to 128 property owners within 500 feet of the subject site and beyond. In addition, the Homeowners Association for Brookberry Farms Development was also notified. The meeting was originally scheduled to be held at Jefferson Elementary School; however due to snow and the closing of the school, the location of the venue was relocated to the Barn at Brookberry Farm. An aerial exhibit displaying the site location, a color rendering of the site plan of the rezoning request, and other supporting exhibits were shared with each attendee.

ATTENDANCE:

- 39 Households (45 ± neighbors) attended
- 3 neighbors were provided overview by phone
- HOA President Kyle Armentrout attended

SUMMARY OF COMMENTS:

- Most neighbors that attended were generally supportive or did not express an opinion.
- Ron Davis, developer of Arbors at Meadowlark suggested most of the revisions. The petitioner agreed to make the majority of plan revisions as requested.
- Those households that were supportive of the development felt that it was a good fit for the neighborhood and liked the mixed-use appeal.
- Some households expressed concerns, which were related to buffers, stub road connections, building setbacks, and market feasibility.

SITE PLAN REVISIONS RESULTING FROM NEIGHBORHOOD COMMENTS:

1. Relocated clubhouse away from Arbors at Meadowlark and relocated in center of the site.
2. Shift southernmost apartment building away from Sweetgrass Trail neighbors.
3. Volunteered additional buffers adjacent to Sweetgrass Trail houses.
 - Volunteered 25' Type III bufferyard along southern boundary. Not required by code
 - Volunteered second buffer along north side of gas easement – 20' Type III bufferyard.
4. Expanded tree save area adjacent to Sweetgrass Trail and Arbors at Meadowlark neighbors.
5. Shift northernmost apartment building away from adjacent neighbors.
6. Removed a number of "uses" requested by neighbors.

Respectfully submitted,



Stephen Owen
Project Manager
Stimmel Associates, P.A.

Tarra Jolly

Subject: FW: [EXTERNAL] Urgent request regarding your approval of the West End Shopping Center

From: Ann Barnouw <atirello@yahoo.com>
Sent: Wednesday, February 26, 2020 1:00 PM
To: Tarra Jolly <tarraj@cityofws.org>
Cc: Ann Barnouw <atirello@yahoo.com>
Subject: [EXTERNAL] Urgent request regarding your approval of the West End Shopping Center

To the City County Planning Department:

I am writing, not just on behalf of the many hundreds of families living in the Brookberry Farm Neighborhood on Meadowlark Drive, but mostly as a Mom who is genuinely concerned for the safety of her kids, my neighbors' kids, and the general safety and well being of the neighborhood we call home. I hope this planning board can look at this from our perspective, the perspective of Moms and Dads that care about our children and our community.

This is regarding the West End Shopping Center that is proposed to go in at the intersection of Robinhood Road and Meadowlark Drive. First let me say, as a neighborhood, we know something will go there eventually. This is not our issue. Our issue is how this is planned to go in with complete disregard for the surrounding communities (Brookberry Farms and The Arbors at Meadowlark). The developers are wanting to open a stub street at the end of Wisteria Drive in the Arbors neighborhood, so that you will be able to drive from the Arbors directly into the shopping center. The Arbors neighborhood connects to Brookberry Farm through Stable Bend Lane. This means that you will have a tremendous amount of traffic cutting across Brookberry Farms to get to that entrance. When Brookberry Farm is complete, there will be over 700 families living here. 700 families cutting across our neighborhood to get to this shopping center. It is completely unnecessary, especially being that there will be an actual entrance to the shopping center just feet away on Meadowlark Drive next to the Arbors entrance. There will also be 2 other entrances on Robinhood Road. Is 3 entrances not enough?! Why put our families in danger?

I beg you to deny their request to open this stub street for the following reasons:

1. This diminishes the value of our neighborhood and our houses
2. This unnecessary excessive traffic will be very dangerous for our kids and residents walking, running, riding bikes, walking dogs, going to and from bus stops, etc. Our once safe residential neighborhood will become a traffic nightmare.
3. Golf carts are a huge issue as well. Most families here have them and use them safely on our streets. If Wisteria Drive is opened, you are going to have golf carts mixing with daily traffic in the shopping center parking lot. This is COMPLETELY unsafe for all drivers, especially since it is common to see young kids driving these golf carts. They will be driving right into that shopping center among trucks and passenger vehicles.
4. The city is putting in a sidewalk down the entire length of Meadowlark Drive, so if residents want to walk to this shopping center, they will easily be able to. In fact, maybe instead of opening Wisteria Drive, putting in a walk through trail for residents would be more desirable for all parties and make everyone happy.

As a neighborhood, we wanted our concerns to be in writing. That is the reason for this email. We ask that you will bring up these concerns at the meeting on March 12th. Currently, there are a few of us planning to attend to represent the neighborhood. If we need hundreds of residents to show up, we will do that. We have a petition coming your way at that meeting to show you how serious we are as a neighborhood about keeping Wisteria Drive closed to this shopping center. Please help protect us.

I look forward to your reply and confirmation that the appropriate people have read this email.

Sincerely,
Ann Barnouw
Brookberry Farms

Tarra Jolly

Subject: Opposition to F-1592
Attachments: Planning Board Case F-1592.pdf

From: Ron Davis <arpllc@aol.com>
Sent: Monday, February 24, 2020 9:43 PM
To: Gary Roberts <garyr@cityofws.org>
Subject: [EXTERNAL] Rezoning Case F-1592

Mr. Roberts,

Thank you for your time this afternoon. Attached is Meadowlark Developers, LLC's petition to deny rezoning case F-1592. Thank you for forwarding it to the appropriate parties. Please confirm its receipt.

Ronald C. Davis, Manager
336-462-0705

MEADOWLARK DEVELOPERS LLC.

MEADOWLARK DEVELOPERS, LLC.

380H Knollwood Street, #253
Winston-Salem, NC 27103

To: Aaron King, Planning Director
PO Box 2511
Winston -Salem, NC
336-747-7040

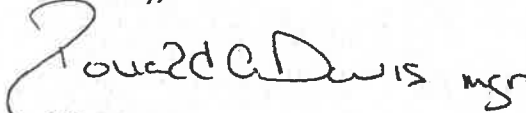
Re: Petition to Deny Rezoning Case F-1592

Dear Sir,

Forsyth County Rezoning Case F-1592 proposes to rezone 33.91 acres from RS9 to GB-S at the southwestern corner of the intersection of Robinhood Road and Meadowlark Road in Forsyth County. The proposal extends high intensity commercial/industrial land uses directly against Brookberry Farm and the Arbors at Meadowlark. The site plan connects the commercial/industrial uses directly to a single family residential street, and places a 15,400 square feet clubhouse with outdoor pool as close as possible (40 feet) to a single family property line. Special Use zoning allows conditions to mitigate impacts to neighboring properties. In this case, there are no conditions that could be added to the proposal that would negate the high intensity commercial uses next to single family neighborhoods. **This proposed rezoning of RS9 to GBS should be denied for the reasons attached.**

Please forward a copy of this request to all City County Planning Board Members and Forsyth County Commissioners.

Sincerely,


2-24-2020

The following information is provided to support DENIAL of Rezoning Submittal Case F-1592 to rezone 33.91 acres from RS-9 to GB-S at the southwestern corner of the intersection of Robinhood Road and Meadowlark Road in Forsyth County, NC.

The proposed site plan and uses should be DENIED because they are not consistent with Legacy 2030 and the West Suburban Area Plan 2018 update recommendations, and do not comply with the Winston-Salem/Forsyth County Unified Development Ordinance.

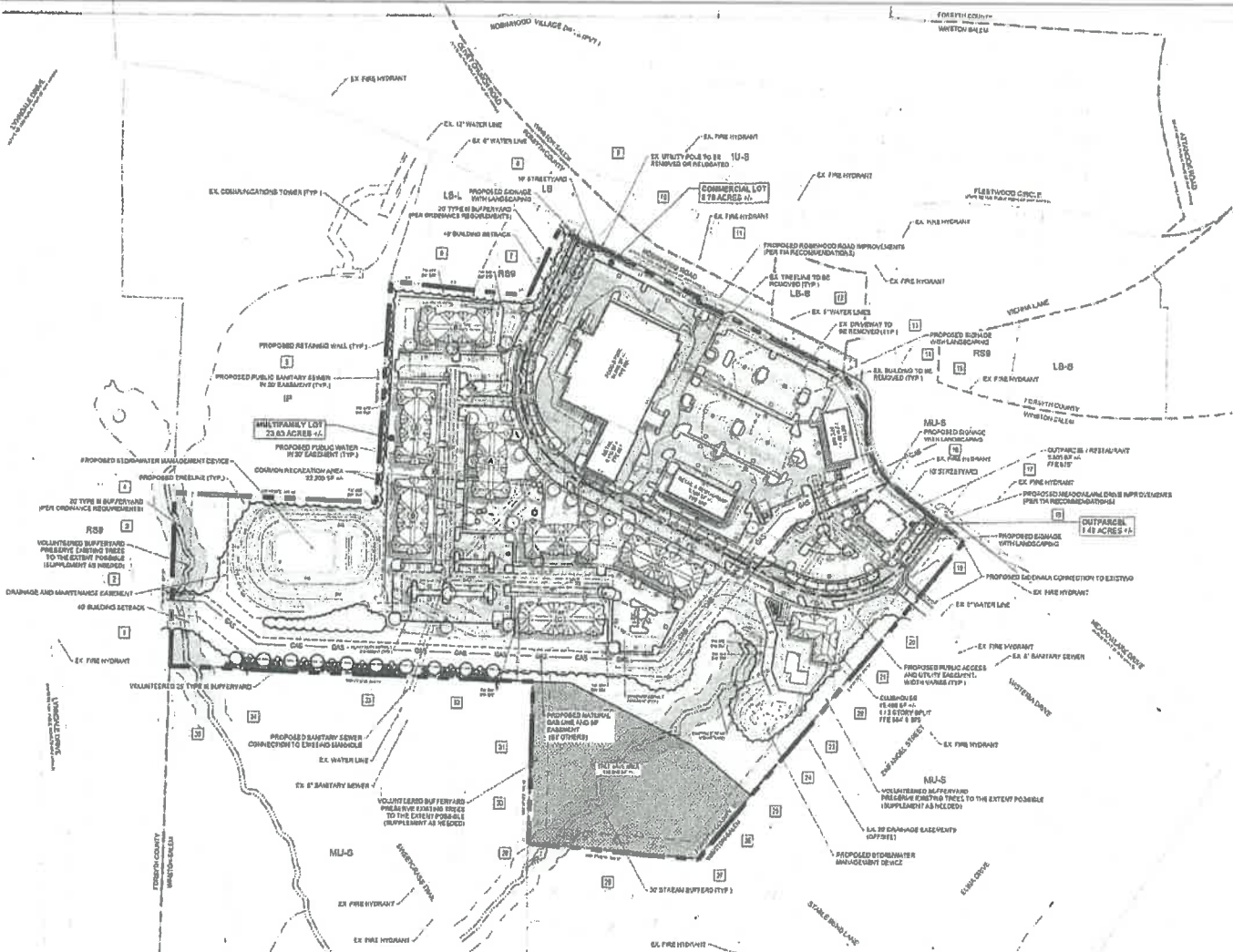
- A. Inconsistencies With Legacy 2030 and Area Plan Recommendations.** The property proposed to be rezoned from single family residential RS9 to high intensity commercial General Business – Special Use is situated within the Suburban Neighborhoods (GMA 3) Growth Management Area and is within the West Suburban Area Plan (Area Plan). The Area Plan recommends the consolidation of office and commercial uses at existing commercial/office locations, in designated activity centers, and in Special Land Use Condition Areas. The Area Plan further states “Neighborhoods should be protected from inappropriate residential, commercial, industrial, and institutional encroachment” and “All new and redeveloped commercial and office uses should be designed and developed to be compatible with nearby residential uses”(see pp. 23-24 of Area Plan).
1. The submitted site plan does not show a design intended to be compatible with the adjacent single family residential neighborhood. For example, the 15,400 SQ. FT. clubhouse with outdoor pool is located as close as possible (40 feet) to the single family residential neighborhood property line rather than centrally located within the apartment complex. This results in severe negative impact to the residences’ use and enjoyment of their property.
 2. The proposed commercial site is included within the Robinhood Village Activity Center with a recommended single use of Residential Multifamily. The major portion of the Activity Center is zoned MU-S, and it includes the same uses shown on the site plan for rezoning case F-1592. The MU-S zoning district requires the establishment of a public recreation area when an included food store exceeds 50,000 SQ. FT. In contrast, the site plan for rezoning case F-1592 includes a 51,000 SQ. FT. food store without any corresponding public recreation area. The requested GB-S commercial use is not only redundant with the existing Activity Center, it lacks the community benefit required with MU-S zoning.
 3. The Preface to the Area Plan provides factors that decision makers evaluate when considering the recommendations in an Area Plan. These factors include current site conditions, community needs and changing circumstances as well as other information which was not apparent during the most recent update. There are no new community factors that warrant a change of the existing residential single family RS9 zoning from the recommended multifamily to high intensity commercial land use.

4. There are factors that specifically warrant the denial of the requested commercial zoning: commercial use zoning is available nearby within the existing Robinhood Village and Country Club/Meadowlark Activity Centers; commercial use zoning is available nearby within the existing Brookberry Farm Mixed-Use development; a single family residential neighborhood is now developed on immediately adjacent single family residential RS9 zoned land. It should also be noted that the RM18 proposed for the subject property in the Robinhood Village Activity Center exceeds the density of RM12 approved for the west side of Meadowlark Drive at the southern part of the Brookberry Farm Mixed-Use Development. Any non-residential use of the proposed rezoning parcels is clearly inconsistent with past approvals and future recommendations in this Suburban Neighborhoods (GMA 3) Growth Management Area and West Suburban Area Plan Update.

B. Conflicts With the UDO Protection of Residential Districts. The UDO states “ each residential district is designed and intended to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, protected from incompatible and disruptive activities which more properly belong in nonresidential districts” (see UDO Table 4.4: General Zoning Districts Established). Property owners in the single family residential neighborhoods immediately adjacent to the proposed rezoning site have invested in their communities based on the existing single family residential RS9 residential zoning of the adjacent property and recommended future residential use in the Area Plan. The proposed site plan and land uses fail to protect these adjacent single family residential neighborhoods from incompatible and disruptive activities and fail to meet specific UDO requirements such as bufferyards and separation of incompatible uses.

1. Incompatibility between residential districts and non-residential districts is specifically recognized in the UDO on p. 6-24 “ 6.E. Driveways 2. Combined driveways and cross-access drives e. CROSS-ACCESS WAIVERS I. cross access may be waived 2. There are incompatible land uses on adjoining properties that should not be connected by a cross-access drive (e.g. commercial or industrial uses adjoining area intended for future residential uses).”
2. The proposed site plan connects the internal driveway serving commercial uses directly to a residential neighborhood street approximately **200 feet** from the single family residential neighborhood entrance on Meadowlark Drive. This connection forces a major thoroughfare function on to a residential street. It provides a circulation route for non-resident travelers and shoppers going to the commercial shopping center and taking shortcuts between Robinhood Road, a major thoroughfare, and Meadowlark Road. This connection will have a dangerous and unacceptable impact on the adjacent single family residential neighborhood as the neighborhood entrance becomes a commercial business entrance and the residential street becomes a thoroughfare. Another serious traffic concern is the potential for the left hand turn out of the neighborhood onto Meadowlark to be blocked by cars waiting to turn left into the shopping center.

3. A specific example of land use incompatible with adjacent single family residences proposed in Case F -1592 is "Services B" which is defined as follows in the UDO: An establishment primarily engaged in providing services to commercial and business establishments. Operations may include large scale facilities and storage of merchandise and equipment outside enclosed buildings. Services B includes the following list of uses (including SIC groups and all subcategories not elsewhere listed): 7699 Establishments from SIC 7699 primarily engaged in providing repair and other services to businesses and to a lesser extent, individuals, that by the nature of their operation could impact adjoining property due to noise, odor, vibration, and/or air or water pollution. Uses include repair or servicing of large or heavy machinery, such as engines and appliances, and welding, blacksmith or gunsmith shops, and septic tank or sewer cleaning services, but not to include agriculture and farm equipment, industrial truck repair, and motorcycle rep
4. The proposed request shows only four commercial uses on the site plan (retail, restaurant with drive through service, restaurant without drive through service, retail and food store). Approval of this rezoning request would mean that the uses could change from those four to *any* of the other proposed uses without specific notice to the neighbors or further review for their potential negative impact to their homes. This could be anything from a drive through restaurant to a septic tank or sewer cleaning service 40 feet from someone's yard! The list of uses proposed for Case F-1592 is attached for completeness in information.
5. The proposed site plan does not meet UDO bufferyard requirements. There is no bufferyard shown between the commercial use property and residential lot on the easternmost corner of the site. The southeastern boundary with the single family residential neighborhood is shown with an unspecified width or type "volunteered bufferyard preserve trees to the extent possible (supplement as needed). A type III bufferyard is required by the UDO.
6. The site plan does not provide detailed information regarding signage. The difference in sign requirements for residential and general business signs is significant. Signage for the commercial development entrance on Meadowlark Road is shown approximately 40 feet from the boundary of a residential lot. According to the UDO Section 6.5.2 FORSYTH COUNTY SIGNAGE STANDARDS an on-premise sign in a GB zoning district can be up to 35 feet tall and 75 SQ. FT. and could have interior illumination. Such a sign would be unacceptably obtrusive to the adjacent residential lot. In contrast, signs for residential zoning districts are limited to 15 feet in height and 18 SQ. FT. and no interior illumination is allowed.



SITE DATA

Area:
 Total Site Area: 125.00 Ac +/-
 Existing Building: 105,000 SF
 Existing Parking: 1,500 SF
 Existing Lot Area: 8.79 Ac +/-
 Commercial Lot Area: 0.33 Ac +/-
 Overall Lot Area: 1.83 Ac +/-
 Total Site Area: 125.00 Ac +/-

Proposed Improvements:
 Existing Building: 105,000 SF +/-
 New Building: 125,000 SF +/-
 New Parking: 1,500 SF +/-

NEIGHBORHOOD IMPROVEMENTS

Hobartwood Village Dr (Imp. by City)
 Westwood Blvd (Imp. by City)

PROPOSED IMPROVEMENTS

Proposed Building (125,000 SF +/-)
 Proposed Parking (1,500 SF +/-)
 Proposed Streets (Hobartwood Village Dr, Westwood Blvd)

EXISTING UTILITIES

Water Mains
 Sewer Mains
 Stormwater Mains
 Gas Mains
 Electric Mains



stimmel
 LANDSCAPE ARCHITECTURE
 501 H. TRADE STREET, SUITE 200
 WEST END, NC 27150
 (704) 833-1100

PURPOSE STATEMENT

The purpose of this report is to provide information regarding the proposed development and to assist in the decision-making process regarding the project.

PROPOSED USES

Residential Building (125,000 SF +/-)
 Office Building (125,000 SF +/-)
 Retail Building (125,000 SF +/-)

NOTES

1. See notes on drawing sheets.
2. See notes on drawing sheets.
3. See notes on drawing sheets.
4. See notes on drawing sheets.
5. See notes on drawing sheets.

BEARINGS & DISTANCES

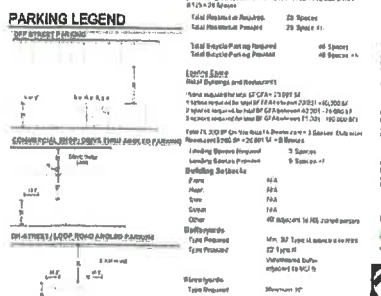
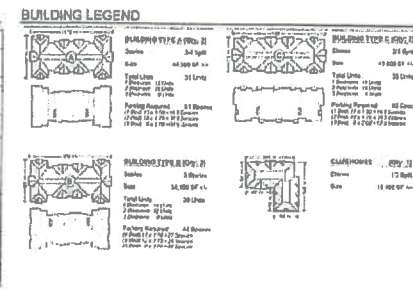
Station	Line	Bearing	Distance
1+00	1	N 15° 30' 00" E	150.00
1+150	2	S 75° 00' 00" W	150.00
2+00	3	N 75° 00' 00" W	150.00
2+150	4	S 15° 30' 00" E	150.00

ADJACENT OWNERS

Name	Address	City	County	State	Zip
1. [Owner Name]	[Address]	[City]	[County]	[State]	[Zip]
2. [Owner Name]	[Address]	[City]	[County]	[State]	[Zip]
3. [Owner Name]	[Address]	[City]	[County]	[State]	[Zip]

TREE SAVE AREA CALCULATIONS

Item	Area (sq ft)	Volume (cu ft)	Value (\$)
1. [Tree Type]	[Area]	[Volume]	[Value]
2. [Tree Type]	[Area]	[Volume]	[Value]
3. [Tree Type]	[Area]	[Volume]	[Value]



WEST END

Client: Mr. Jack Coulter
 Assn Property Group
 2200 W. Pleasant St
 Chatham, NC 27155
 (704) 343-7400
 [Website]

Prepared By: Stimmel Landscape Architecture
 Date: 10/1/2011

WEST END

FORSYTH COUNTY, NC

Resizing Submittal

SCALE: 1" = 80'

Summary of Facts for **DENIAL** of Rezoning Submittal Case F-1592* to rezone 33.91 acres in Forsyth County, NC. from RS-9 to GB-S at the southwestern corner of the intersection of Robinhood Road and Meadowlark Road, adjacent to Brookberry Farms and The Arbors at Meadowlark neighborhoods.

1. Does not support Robinhood Village Area Plan statement “Neighborhoods should be protected from inappropriate residential, commercial, industrial, and institutional encroachment”.
2. Does not meet the intent of the Robinhood Village Area Plan: “All new and redeveloped commercial and office uses should be designed and developed to be compatible with nearby residential uses”.
3. Does not follow The Robinhood Village Area Plan recommended land use of Multifamily - Intense Commercial and Industrial Land Uses are added.
4. Does not consider factors that support Area Plan Recommendation for residential only use - adjacent single family residential neighborhoods; available commercial property in close proximity in Robinhood Village and Country Club/Meadowlark Activity Centers
5. Conflicts with UDO purpose “each residential district is designed and intended to secure for the persons who reside there a comfortable, healthy, safe, and pleasant environment in which to live, protected from incompatible and disruptive activities which more properly belong in nonresidential districts”
6. Does not show a design intended to be compatible with the adjacent single family residential neighborhood. For example, the 15,400 ft². clubhouse with outdoor pool is located as close as possible (40 feet) to the single family residence property line rather than centrally located within the apartment complex.
7. Forces a major thoroughfare function onto a single family residential street by connecting the high intensity use commercial shopping center main driveway to the adjacent neighborhood just 200 feet from the neighborhood’s main entrance on Meadowlark Drive.
8. Creates a short cut route for non-neighborhood travelers and shoppers through the shopping center between Robinhood Road, a major thoroughfare, and Meadowlark Road via the neighborhood streets.
9. Blocks the left hand turn out of the Arbors neighborhood onto Meadowlark Drive when cars are stacked/waiting to turn left into the shopping center, and traffic will be forced to other neighborhood exits.
10. Conflicts with UDO direction that commercial and residential land uses are incompatible land uses on adjoining properties that should not be connected by a cross-access drive (e.g. commercial or industrial uses adjoining area intended for future residential uses).”
11. Proposes land uses (repair or servicing of large or heavy machinery, such as engines and appliances, and welding, blacksmith or gunsmith shops, and septic tank or sewer cleaning services) that by the nature of their operation could impact adjoining property due to noise, odor, vibration, and/or air or water pollution (Services B).
12. Does not provide the required Type III bufferyard along boundary with single family residential neighborhood.
13. Does not show modification of GB allowed sign height and size at the Meadowlark Drive shopping center entrance to be compatible with adjacent residential lot.
14. Non-residential use of the proposed rezoning parcels is clearly inconsistent with past approvals and future recommendations in this Suburban Neighborhoods (GMA 3) Growth Management Area and West Suburban Area Plan Update.

*Rezoning Submittal Case F-1592 will be presented at the March 12, 2020 City-County Planning Board meeting 4:30 p.m. in the Bryce Stuart Municipal Building, 100 E. First Street, Winston-Salem, in the 5th floor Public Meeting Room. The site plan can be viewed online at <https://www.cityofws.org/2649/March-2020-Planning-Board-Items>

Commercial/Industrial uses Proposed for F-1592 and Relevant Residential Uses Allowed/Not Allowed
 Information from Table 5.1.1: Principal Use Table Winston-Salem/Forsyth County UDO

Proposed Uses F-1592 Rezoning Request RS-9 to GB-S	Use	Intensity	RES / RS9	RES / RM12	RES / RM18	COM / NO Neighborhood Office	COM / NB Neighborhood Business	COM / HB Highway Business	COM / GB General Business	COM / CB Central Business	IND / LJ Light Industrial	IND / GI General Industrial	IND / CI Central Industrial	INST / IP Institutional	Mixed Use / MU-S
YES	Swimming Pool, private	low	Z	Z	Z				Z	Z			Z	Z	Z
YES	Theater, Indoor	high						Z	Z	Z			Z		Z
YES	Academic Biomedical Research	low						Z	Z	Z	Z	Z	Z	P	Z
YES	Academic Medical Facility	high						Z	Z	Z	Z		Z		Z
YES	Animal Shelter, Public	high						Z	Z		Z	Z		E	Z
YES	Child Care, Drop-in	low				Z	Z	Z	Z	Z	Z		Z	Z	Z
YES	Child Care institution	low							P	A				P	Z
YES	Child Care sick children	low		A	A	A	A	P	P	P	P		Z	P	Z
YES	Child Day Care Center	low		A	A	A	A	P	P	P	P		Z	P	Z
YES	Church or Religious Inst., Commercial	low	P	P	P			Z	Z	Z	Z	Z	Z	P	Z
YES	Church or Religious Inst., Neighborhood	low	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z
YES	Club or Lodge	high						Z	Z	Z			Z	A	Z
YES	College or University	high						Z	Z	Z	Z		Z	A	Z
YES	Gov't Offices, Neighborhood Office	low				Z	Z1	Z	Z	Z	Z	Z	Z	Z	Z
YES	Group Care Facility A	high		A	A				P	P					
YES	Group Care Facility B	high							P						
YES	Group Care Facility C	high							S						
YES	Habilitation Facility A	low	A	Z	Z			Z	Z	Z			Z	Z	Z
YES	Habilitation Facility B	low		Z	Z			Z	Z	Z			Z	Z	Z
YES	Habilitation Facility C	low		A	A			Z	Z	Z			Z	Z	Z
YES	Hospital or Health Center	high						Z	Z	Z	Z		Z		Z
YES	Institutional Vocational Training	high						Z	Z	Z					
YES	Museum or Art Gallery	low				Z	Z	Z	Z	Z			Z	Z	Z
YES	Nursing Care Institution	low		Z	Z			Z	Z	Z			Z	Z	Z
YES	Police or Fire Station	high	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z	Z
YES	School, Private	high	P	P	P			P	P	P			Z	P	Z
YES	School, Public	high	P	P	P			P	P	P			Z	P	Z
YES	School, vocational or professional	low						Z	Z	Z	Z	Z	Z	P	Z
YES	Special Events Center	high						Z	Z	Z	Z		Z		Z
YES	Borrow Site	high						A	A		A	A			
YES	Access Easement, private off-street	low	E 5	E 5	E 5	E 5	E 5	E 5	E 5	E 5	E 5	E 5	E 5	E 5	E 5
YES	Park & shuttle lot	low	A	A	A	A		Z	Z	Z	Z	Z	Z	P	Z
YES	Parking, Commercial	low						Z	Z	Z	Z	Z	Z		Z
YES	Transmission tower (FC)	high	Z/A	Z/A	Z/A			Z	Z	Z	Z	Z	Z	Z/A	Z

Commercial/Industrial uses Proposed for F-1592 and Relevant Residential Uses Allowed/Not Allowed
 Information from Table 5.1.1: Principal Use Table Winston-Salem/Forsyth County UDO

Proposed Uses F-1592 Rezoning Request RS-9 to GB-S	Use	Intensity	RES / RS9	RES / RM12	RES / RM18	COM / NO Neighborhood Office	COM / NB Neighborhood Business	COM / HB Highway Business	COM / GB General Business	COM / CB Central Business	IND / LJ Light Industrial	IND / GI General Industrial	IND / CI Central Industrial	INST / IP Institutional	Mixed Use / MU-S
YES	Residential Building, Townhome	low	P	P	P	P	P	P 8	P	Z			Z		Z
YES	Residential Building Multifamily	high	P	P	P	P	P	P 9	P	Z			Z		Z
YES	Boarding or Rooming House	low		Z	Z			Z	Z	Z					Z
YES	Combined Use	low				Z	Z		Z	Z			Z		Z
YES	Family Group Home B	high		P	P				P	P				P	Z
YES	Family Group Home C	high		P	P				P	P				A	Z
YES	Life Care Community	low		P	P				P						
YES	Urban Agriculture	low		A	A			Z	Z		Z	Z		Z	Z
YES	Arts and Crafts Studio	low					Z	Z	Z	Z	Z	Z			Z
YES	Building Materials Supply	high						Z	Z		Z	Z			Z
YES	Convenience Store	high					Z 1	Z	Z				Z		Z
YES	Food or Drug Store	high					Z 1	Z	Z	Z			Z		Z
YES	Furniture and Home Furnishings	low						Z	Z	Z					
YES	Micro-brewery or Micro-distillery	high						Z	Z	Z	Z	Z	Z		Z
YES	Nursery Lawn and Garden Supply	high						Z	Z	Z					Z
YES	Outdoor Display Retail	high						Z	Z						Z
YES	Restaurant <u>with</u> OUT Drive through	high					Z	Z	Z	Z			Z		Z
YES	Restaurant <u>with</u> Drive through	high						Z	Z						Z
YES	Retail Store	high					Z 1	Z	Z	Z			Z		Z
YES	Shopping Center	high						Z	Z	Z			Z		Z
YES	Shopping Center, Small	high						Z	Z	Z			Z		Z
YES	Wholesale Trade A	high							Z	Z	Z	Z	Z		Z
YES	Banking and Financial Services	high				A	A 1	Z	Z	Z	Z	Z	Z		Z
YES	Bed and Breakfast	low				A	A 1	Z	Z	Z			Z		Z
YES	car wash	high						Z	Z						Z
YES	Entertainment Facility, Large	high						E	E	E					
YES	Hotel or Motel	high						Z	Z	Z			Z		Z
YES	Offices	low				Z	Z	Z	Z	Z	Z	Z	Z		Z
YES	Services A	low					Z	Z	Z	Z	Z	Z	Z		Z
YES	Services B	high						Z	Z	Z	Z	Z	Z		Z
YES	Storage Services, Retail (FC)	low						Z	Z		Z	Z			Z
YES	Testing and Research Lab	low						Z	Z	Z	Z	Z	Z		Z
YES	Veterinary Services	low					Z 1	Z	Z			Z			Z
YES	Recreation Services Indoor	low					Z	Z	Z	Z	Z	Z	Z	A	Z
YES	Recreation Services outdoor	high						Z	Z	Z		Z	Z	A	Z
YES	Recreation Facility, Public	low				Z	Z	Z	Z	Z	Z	Z	Z	Z	Z

Commercial/Industrial uses Proposed for F-1592 and Relevant Residential Uses Allowed/Not Allowed
 Information from Table 5.1.1: Principal Use Table Winston-Salem/Forsyth County UDO

Proposed Uses F-1592 Rezoning Request RS-9 to GB-S	Use	Intensity	RES / RS9	RES / RM12	RES / RM18	COM / NO Neighborhood Office	COM / NB Neighborhood Business	COM / HB Highway Business	COM / GB General Business	COM / CB Central Business	IND / LI Light Industrial	IND / GI General Industrial	IND / CI Central Industrial	INST / IP Institutional	Mixed Use / MU-S
YES	Transmission Tower (WS)	high	E	E	E			Z	Z	Z	Z	Z	Z	Z/A	Z
YES	Utilities	high	P	P	P	P	P	Z	Z	Z	Z	Z	Z	Z	Z
YES	Residential Building Duplex	low	Z	Z	Z	Z	Z								Z
YES	Residential Building, Twin Horizontal	low	Z	Z	Z	Z	Z								
NO	Residential Building, Single Family	low	Z	Z	Z	Z	Z			Z6				z	z
NO	Fuel dealer	high						Z	Z		Z	Z	Z		
NO	Motorcycle Dealer	high						Z	Z	A			A		Z
NO	Adult Establishment (FC)	high													
NO	Building Contractors, general	high						Z	Z		Z	Z			
NO	Funeral Home	low						Z	Z					Z	Z
NO	Kennel, Indoor	high						Z	Z		Z	Z			Z
NO	Kennel outdoor (FC)	high						Z	Z		Z	Z			
NO	motor vehicle rental and leasing	high						Z	Z	A	Z	Z	Z		
NO	Motor vehicle repair and maintenance	high						Z	Z	A	Z	Z			Z
NO	motor vehicle body or paint shop	high						Z	Z		Z	Z			
NO	Motor vehicle Storage Yard	high						Z	Z		Z	Z			
NO	Storage Services, Retail (WS)	low						Z	Z		Z	Z			Z
NO	Warehousing	high						Z	Z		Z	Z			
NO	Shooting Range, Indoor (FC)	high						Z	Z			Z			
NO	Adult Day Care Center	low		A	A	A		P	P	P	P		Z	P	Z
NO	Cemetery	low						Z	Z					Z	
NO	Correctional Institution	high						E	E	E		Z	E		
NO	Dirt Storage	high						A	A		A	A			
NO	Landfill Construction and Demolition	high						P	P		P	P			
NO	Landfill, land clearing/inert debris	high						P	P		P	P			
NO	landfill, land clearing/inert debris	high						P	P		P	P			
NO	landfill, landclearing/inert debris	high						P	P		P	P			
NO	Landfill, Sanitary (FC)	high						A	A		A	A			
NO	Library, Public	low	P	Z	Z	Z	Z	Z	Z				Z	Z	Z
NO	Shelter for Homeless	low						E	E	E					
NO	Stadium, Coliseum, or Exhibition	high						Z	Z	Z			Z		Z
NO	Manufacturing A	high							Z		Z	Z	Z		Z
NO	Helistop	high						A	A	A	A	A	A		
NO	Terminal, Bus or Taxi	high						Z	Z	Z	Z	Z	Z		Z

MIXED-USE LAND USE

CATEGORIES

ACTIVITY CENTERS

Activity centers are compact, pedestrian-oriented, neighborhood business areas that provide needed services within walking distance of residential areas. Activity centers may serve as neighborhood gathering places. Larger activity centers are envisioned to provide shopping and services meeting the day-to-day needs of nearby residences, and ideally contain a grocery store and a pharmacy. Activity centers may also include a housing component, especially in suburban areas where new activity centers are being proposed. Certain very large activity centers can serve as compact mixed-use regional centers for retail, office, civic and residential activity. It is important to install sidewalk connections throughout activity centers to encourage pedestrian connections between uses. The *West Suburban Area Plan Update* identifies seven activity centers: the Robinhood Village Activity Center, the Country Club Road/Meadowlark Drive Activity Center, the Sherwood Forest Activity Center, the Harper Hill Commons Activity Center, the Reynolda Road/Fairlawn Drive Activity Center, the Gordon Manor Activity Center, and the Yadkinville Road/Transou Road Activity Center.

Robinhood Village Activity Center

The Robinhood Village Activity Center contains approximately 125 acres and is located at the intersection of Robinhood Road, Meadowlark Drive, and Olivet Church Road (see Figure 2 below). This activity center serves the west central portion of the planning area. This activity center is anchored by the Robinhood Village shopping center that is designed to feel like a small-town downtown. The development has two-story buildings, sidewalks, street trees, large expanses of transparent glass, and other elements of pedestrian-oriented design. The shopping center is anchored by a grocery store and is developed with both sit-down and fast-food restaurants, a branch bank, a gas station, a drug store, and personal service shops. A multifamily development has been constructed immediately to the west that has integrated street and pedestrian access with the shopping center. Older automotive-related uses are located to the west of the shopping center at the northwest corner of Robinhood Road and Olivet Church Road. A volunteer fire department is located to the east of the shopping center on the north side of Robinhood Road. The south side of Robinhood Road and the west side of Olivet Church Road within the activity center are presently developed with single-family homes.

Most future development in this activity center will be of primarily undeveloped sites. A significant amount of multifamily and low-density attached development is

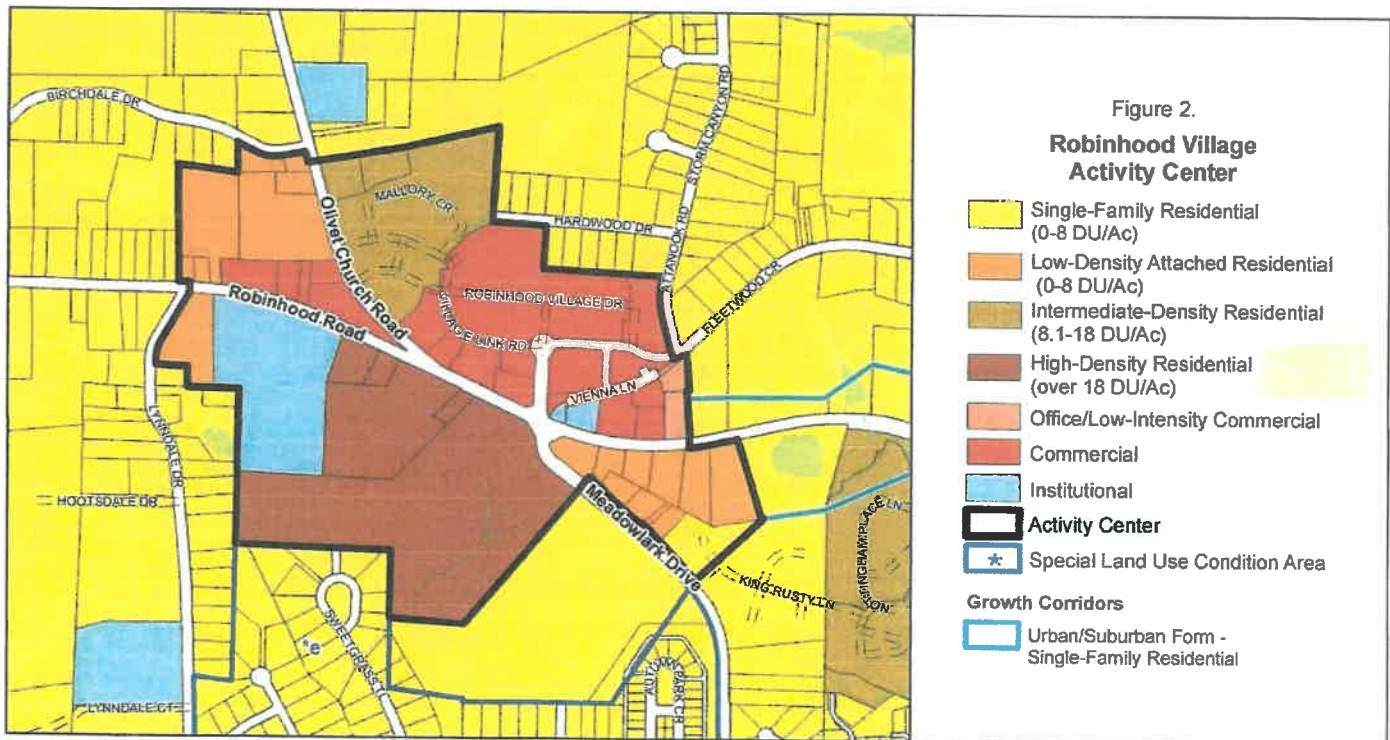


Figure 2. Robinhood Village Activity Center

Plan Recommendations



proposed to the south and west of the shopping center. New development in this activity center should include:

- Commercial uses located immediately to the east of the volunteer fire department transitioning to low-intensity office or commercial uses at the eastern edge of the activity center on the north side of Robinhood Road.
- Commercial uses located on Robinhood Road and Olivet Church Road having a pedestrian-oriented urban form with buildings near the street featuring transparent windows and doors, façade articulation, and parking to the side or rear of buildings.
- Low-density attached residential uses located on the east side of the activity center between Robinhood Road and

Meadowlark Drive. Several parcels should be assembled before increasing density here to allow fewer access points to Robinhood Road and Meadowlark Drive.

- High-density residential uses located on the south side of Robinhood Road across from Robinhood Village shopping center.
- Low-density attached residential uses located along the west side of Olivet Church Road at the northwest corner of the activity center, north of existing commercial uses.
- Land uses should be linked to each other and adjoining properties through vehicular and pedestrian connections.
- Installation of bufferyards, street yards, and parking area plantings should occur where feasible.



Robinhood Village Shopping Center

Tarra Jolly

Subject: F-1592 #3 feedback | Roundabout

From: Jon Mack <mackpro@gmail.com>
Sent: Friday, February 28, 2020 1:25 PM
To: Tarra Jolly <tarraj@cityofws.org>
Cc: Aaron King <aaronk@cityofws.org>; Gary Roberts <garyr@cityofws.org>
Subject: [EXTERNAL] F-1592 feedback | Roundabout

Planning Board Members

Please read and include the following communication from Pat Ivey and attachments as part of F-1592. A roundabout needs to be 200' in diameter.

Assure the community AND PLAN AHEAD that a roundabout could some day be built at the intersection of Robinhood and Meadowlark.

I have been advocating for modern roundabouts for 20 years. We have 3 in Lewisville and they work flawlessly. We have 4 more roundabouts planed for our town.

A single-lane roundabout can handle more than 20,000 vehicles a day, and a multi-lane roundabout can handle more than 40,000.

The fact is that a modern roundabout reduces accidents at intersections up to 80%. They constantly flow traffic and are aesthetically pleasing. A planned roundabout at the intersection of Robinhood and Meadowlark would be a game changer!

Jon Mack
Lewisville

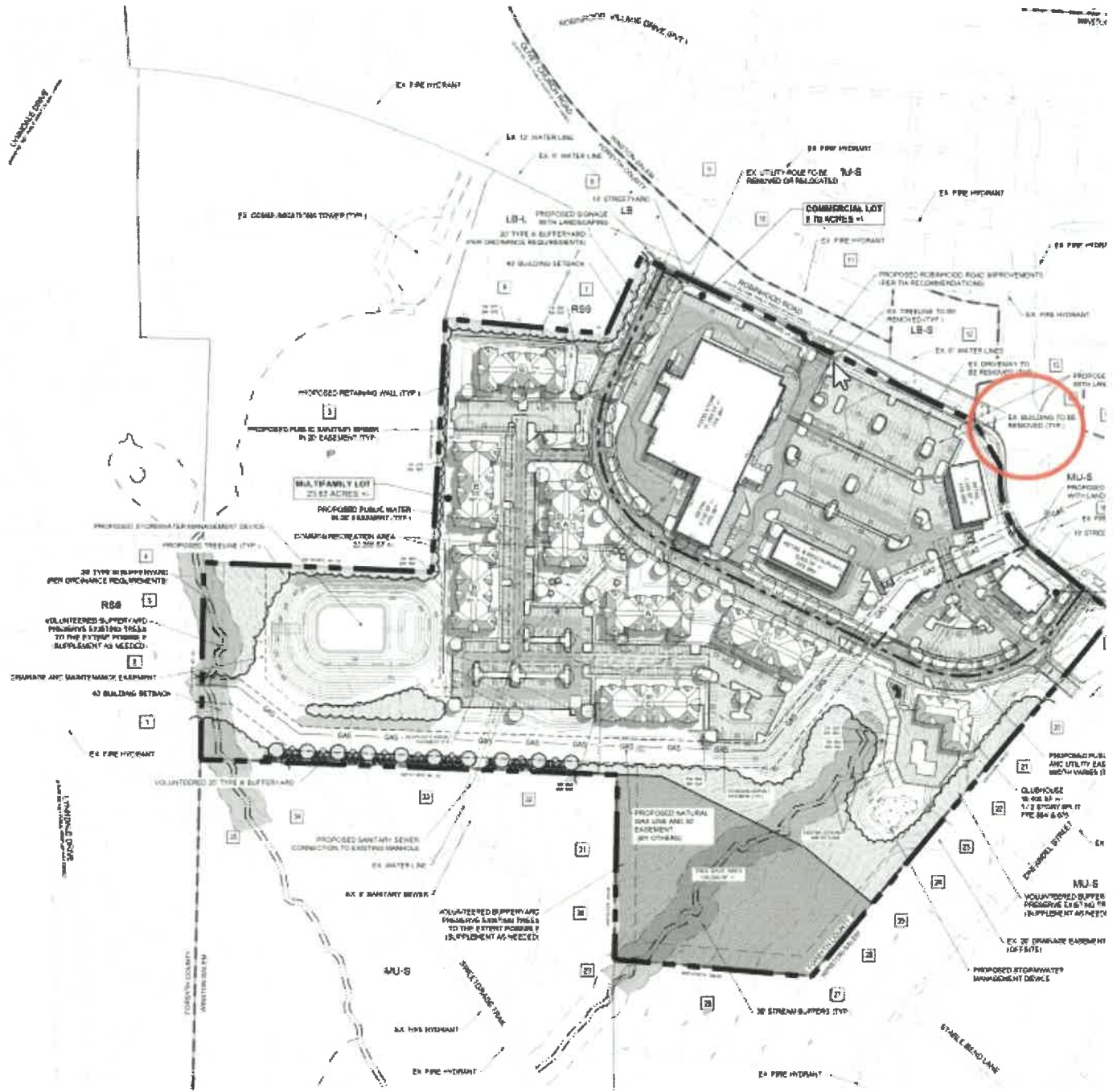
----- Forwarded message -----

From: Ivey, Stephen P <pivey@ncdot.gov>
Date: Mon, Feb 24, 2020 at 12:45 PM
Subject: RE: [External] Meadowlark and Robinhood - proposed development
To: Jon Mack
Cc: Guy, Jeremy M <jmguy@ncdot.gov>, Couch, John P <jpcouch@ncdot.gov>

Jon:

IF it is determined that a roundabout would work, the planned development could certainly make it challenging. The red circle below is 200' in diameter, which the distance between the edges of pavement on a single lane roundabout with bypass lanes. A similar location is in the photo below from Kernersville. The circle does NOT include sidewalks or right of way.

Pat Ivey



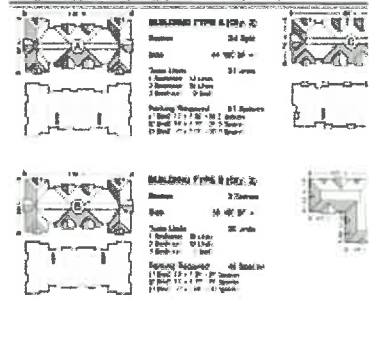
ADJACENT OWNERS

Lot #	Parcel ID	Property Owner	Address
1	100-00-001-001	...	...
2	100-00-001-002	...	...
3	100-00-001-003	...	...
4	100-00-001-004	...	...
5	100-00-001-005	...	...
6	100-00-001-006	...	...
7	100-00-001-007	...	...
8	100-00-001-008	...	...
9	100-00-001-009	...	...
10	100-00-001-010	...	...
11	100-00-001-011	...	...
12	100-00-001-012	...	...
13	100-00-001-013	...	...
14	100-00-001-014	...	...
15	100-00-001-015	...	...
16	100-00-001-016	...	...
17	100-00-001-017	...	...
18	100-00-001-018	...	...
19	100-00-001-019	...	...
20	100-00-001-020	...	...
21	100-00-001-021	...	...
22	100-00-001-022	...	...
23	100-00-001-023	...	...
24	100-00-001-024	...	...
25	100-00-001-025	...	...
26	100-00-001-026	...	...
27	100-00-001-027	...	...
28	100-00-001-028	...	...
29	100-00-001-029	...	...
30	100-00-001-030	...	...
31	100-00-001-031	...	...
32	100-00-001-032	...	...
33	100-00-001-033	...	...
34	100-00-001-034	...	...
35	100-00-001-035	...	...
36	100-00-001-036	...	...
37	100-00-001-037	...	...
38	100-00-001-038	...	...
39	100-00-001-039	...	...
40	100-00-001-040	...	...
41	100-00-001-041	...	...
42	100-00-001-042	...	...
43	100-00-001-043	...	...
44	100-00-001-044	...	...
45	100-00-001-045	...	...
46	100-00-001-046	...	...
47	100-00-001-047	...	...
48	100-00-001-048	...	...
49	100-00-001-049	...	...
50	100-00-001-050	...	...

TREE SAVE AREA CALCULATIONS

Tree Development	Area (sq ft)	Value
Large Tree (DBH > 12")	100,000	100,000
Medium Tree (DBH 6-12")	200,000	200,000
Small Tree (DBH < 6")	300,000	300,000
Total	600,000	600,000

BUILDING LEGEND





Tarra Jolly

Subject: Robinhood/Meadowlark development proposal

-----Original Message-----

From: Jean Miller <rowemill@hotmail.com>

Sent: Tuesday, March 03, 2020 10:24 AM

To: Tarra Jolly <tarraj@cityofws.org>

Subject: [EXTERNAL] Robinhood/Meadowlark development proposal

Dear Planning Department,

I regularly drive Robinhood Road and Meadowlark Road from North Winston to Clemmonsville/Louisville Road. On a good day there is a great deal of congestion. Now that the huge apartment complex and assisted living complex are near completion, the congestion across from the Meadowlark schools is terrible, especially when school is beginning and ending. Now I see that 222 more apartments with another shopping center is being proposed at the Robinhood and Meadowlark intersection. Do we need this many new apartments in this area? I hope you will consider the fact that a large amount of apartments were just built a mile or so down the road as well as the increased congestion this will cause in the area. I am concerned about the possible increase in accidents near the school with no additional lanes for turning have been added to the road. Many people commute through this area to reach Hwy 421 and I-40. Please consider a "no" response to the rezoning of this property. Thank you for considering this request.

Jean Miller

**NOTICE OF PUBLIC HEARING BEFORE THE
CITY-COUNTY PLANNING BOARD OF FORSYTH COUNTY
AND WINSTON-SALEM, NORTH CAROLINA ON
REZONING REQUESTS AND RELATED MATTERS**

Notice is hereby given in accordance with the requirement of applicable law that the City-County Planning Board will hold a public hearing in the Arnold G. King Public Meeting Room on the fifth floor of the Bryce Stuart Municipal Building, 100 East First Street, Winston-Salem, North Carolina, at 4:30 P.M. on March 12, 2020 on the following rezoning and related matters:

1. Zoning petition of JCS Properties North LLC, William Loggins and Susan Loggins, and Billie Moses from RS9 to GB-S (Residential Building, Duplex; Residential Building, Townhouse; Residential Building, Twin Home; Residential Building, Multifamily; Combined Use; Arts and Crafts Studio; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; Micro-Brewery or Micro-Distillery; Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store; Shopping Center; Shopping Center, Small; Wholesale Trade A; Banking and Financial Services; Offices; Services, A; Veterinary Services; Recreation Services, Indoor; Recreation Facility, Public; Swimming Pool, Private; Theater, Indoor; Child Care, Drop-In; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices, Neighborhood Organization, or Post Office; Institutional Vocational Training Facility; Museum or Art Gallery; Police or Fire Station; School, Private; Access Easement, Private Off-Site; Park and Shuttle Lot; and Utilities): property is located at the southwest corner of Robinhood Road and Meadowlark Drive (Zoning Docket F-1592).
2. Zoning petition of John Berger from RS40 to RS20-S (Residential Building, Single-Family and Planned Residential Development): property is located on the east side of Lasater Road, across from Carrousel Drive; property consists of ± 7.62 acres and is PIN 5873-94-7952 as shown on the Forsyth County Tax Maps in the office of the City-County Planning Board (Zoning Docket F-1593).
3. Public hearing on the *Smith Reynolds Airport/Whitaker Park Strategic Area Plan*. The plan area is generally bounded on the north by Lansing Drive, by Carver School Road to the east, by 25th Street and Bowen Boulevard to the south, and on the west North Cherry Street.

NOTE: TIME LIMIT FOR SPEAKERS: Speakers in favor and speakers in opposition of rezoning requests or related public hearing matters shall be limited to twelve (12) minutes total speaking time for each side. All speakers should register prior to the meeting. Registration will begin at 4:00 P.M. inside the Public Meeting Room.

The City of Winston-Salem does not discriminate on the basis of race, sex, color, age, national origin, religion or disability in its employment opportunities, programs, services or activities.

All requests for appropriate and necessary auxiliary aids and services must be made within a reasonable time prior to the hearing to the Director of Planning and Development Services at (336) 747-7061.

F1592 (N) ACKARD GREGORY A ACKARD JOANNE M 5651 ADDLESTONE RD WINSTON SALEM NC 27106	F1592 (N) ALAN G FLETCHER CONSTRUCTION CO INC 550 CONRAD RD LEWISVILLE NC 27023	F1592 (N) ALAN G FLETCHER CONSTRUCTION CO INC 550 CONRAD RD LEWISVILLE NC 27023
F1592 (N) ALGOOD LEONARD W 5365 ROBINHOOD RD WINSTON SALEM NC 27106	F1592 (N) AWNC LLC PO BOX 280 DEALE MD 20751	F1592 (N) BAILOR KATHERINE M BAILOR SAMUEL M 1570 SWEETGRASS TRL WINSTON SALEM NC 27106
F1592 (N) BECK JAMES W BECK RONDA 1444 LYNNDALE DR WINSTON SALEM NC 27106	F1592 (N) BECK JOHN CARTER 1445 LYNNDALE DR WINSTON SALEM NC 27106	F1592 (N) BECK JOHN CARTER 1445 LYNNDALE DR WINSTON SALEM NC 27106
F1592 (N) BEDELEY EMMANUEL N BEDELEY THELMA T 1628 SWEETGRASS TRL WINSTON SALEM NC 27106	F1592 (N) BEROTH CLARA J BEROTH JOHN 6005 YADKINVILLE RD PFAFFTOWN NC 27040	F1592 (N) BEROTH V V OIL CO PO BOX 4089 WINSTON SALEM NC 27115
F1592 (N) BRANNOCK JASON D BRANNOCK CORY K 5665 ADDLESTONE RD WINSTON SALEM NC 27106	F1592 (N) BRAVO MARIA GABRIELA 1637 WISTERIA DR WINSTON SALEM NC 27106	F1592 (N) BROOKBERRY FARM LLC PO BOX 2736 WINSTON SALEM NC 27102
F1592 (N) BROWN DERRICK M BROWN BETHANY O 5679 ADDLESTONE RD WINSTON SALEM NC 27106	F1592 (N) BROWN LAURA S 2520 OLIVET CHURCH RD WINSTON SALEM NC 27106	F1592 (N) BRYANT WILLIAM R BRYANT ALLYSON K 1714 SWEETGRASS TRL WINSTON SALEM NC 27106
F1592 (N) CALDWELL ANGELA N CALDWELL DENNIS R 5864 ZINFANDEL ST WINSTON SALEM NC 27106	F1592 (N) CAMPBELL DENNIS CAMPBELL CASSIE 1754 SWEETGRASS TRL WINSTON SALEM NC 27106	F1592 (N) CHEATWOOD VOYCE M CHEATWOOD DONNA M 5130 ROBINHOOD RD WINSTON SALEM NC 27106
F1592 (N) CHERNOUSKI DANIELLE RENEE 5130 ROBINHOOD RD WINSTON SALEM NC 27106	F1592 (N) CLAXTON RATCHAEL B BREWER ROBERT D 1664 SWEETGRASS TRL WINSTON SALEM NC 27106	F1592 (N) COLLINS GREGORY A COLLINS CARRIE E 1191 DOWNING CREEK CT WINSTON SALEM NC 27106
F1592 (N) COOK FLOYD E COOK DARNELLA D 1181 DOWNING CREEK CT WINSTON SALEM NC 27106	F1592 (N) COSTEN JADE WALLACE COSTEN JESSICA RUTH 1192 DOWNING CREEK CT WINSTON SALEM NC 27106	F1592 (N) DREAM BUILDERS WS LLC 4001 COUNTRY CLUB RD, STE G WINSTON SALEM NC 27104
F1592 (N) DREAM BUILDERS WS LLC 4001 COUNTRY CLUB RD, STE G WINSTON SALEM NC 27104	F1592 (N) DUGGINS WILLIAM DUGGINS AMY 1590 SWEETGRASS TRL WINSTON SALEM NC 27106	F1592 (N) EBSON PARTNERS LLC 5335 ROBINHOOD VILLAGE DR PMB 157 WINSTON SALEM NC 27106

F1592 (N)
FERNANDES CRISTINA E
ROCHA LIMA CAIO MAX SAO PEDRO
1611 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
GLEN HOMES LLC
1959 N PEACE HAVEN RD, # 326
WINSTON SALEM NC 27106

F1592 (N)
GRIGG JASON T
GRIGG JENNIFER E
1395 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
HAWKINS JASON W
HAWKINS ERIKA B
1585 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
HYERS RICHARD K
HYERS KATHY L
1436 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
JK CANTER BUILDER LLC
102 WEST ST
WILKESBORO NC 28697

F1592 (N)
LANGFITT MAXWELL KENNETH
LANGFITT JANE ELIZABETH
1565 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
MANICKAM PANNEER S
PANNEERSELVAN VIJAYAKUMARI
5805 ZINFANDEL ST
WINSTON-SALEM NC 27106

F1592 (N)
MEADOWLARK DEVELOPERS LLC
380H KNOLLWOOD ST STE 253
WINSTON-SALEM NC 27103

F1592 (N)
MOSER MELISSA G
5795 DAVIS RD
WALKERTOWN NC 27051

F1592 (N)
FERRIS MARK
FERRIS JESSICA
1545 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
GOOGE STEPHEN L
PO BOX 444
WELCOME NC 27374

F1592 (N)
GTE PROPERTIES LLC
3937 WESTPOINT BLVD
WINSTON SALEM NC 27103

F1592 (N)
HICKS MICHAEL B
275 WILLIAMS LN
INDIANAPOLIS IN 46260

F1592 (S)
JCS PROPERTIES NORTH LLC
1207 INDIAN TRL
APEX NC 27502

F1592 (N)
KEY SARAH J
5316 ROBINHOOD RD
WINSTON SALEM NC 27106

F1592 (S)
LOGGINS WILLIAM C
LOGGINS SUSAN
5264 ROBINHOOD RD
WINSTON SALEM NC 27106

F1592 (N)
MATHERLY JUANITA FAYE
1379 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
MELTON ROBERT G
6304 BARONS RIDGE CIR
PFAFFTOWN NC 27040

F1592 (S)
MOSES BILLIE C
LOGGINS SUSAN
5284 ROBINHOOD RD
WINSTON SALEM NC 27106

F1592 (N)
FRYER JOHN C
FRYER LORI A
1652 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
GOOGE STEPHEN L
PO BOX 444
WELCOME NC 27374

F1592 (N)
HALE BELINDA H
1425 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
HOLE JEAN LEWIS
1244 ARBOR RD,
WINSTON SALEM NC 27104

F1592 (N)
JK CANTER BUILDER LLC
102 WEST ST
WILKESBORO NC 28697

F1592 (N)
LAHARGOU JOSE M
LANARGOU ALEJANDRA
5637 ADDLESTONE RD
WINSTON SALEM NC 27106

F1592 (N)
MAGUIRE ERIC DENNIS
MAGUIRE LOREAL LEA
1595 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
MEADOWLARK DEVELOPERS LLC
380H KNOLLWOOD ST STE 253
WINSTON-SALEM NC 27103

F1592 (N)
MOCK FLOYD L
MOCK CAREY
4752 COUNTRY CLUB RD
WINSTON SALEM NC 27104

F1592 (N)
NORTH CAROLINA DEPARTMENT OF
TRANSPORTATION
1605 WESTBROOK PLAZA DR, STE 201
WINSTON SALEM NC 27103

F1592 (N)
PEEPLES GREGORY RONDALL
WILLIAMS ERIKA LACI
1371 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
PEREZ ALFREDO MARTIN
5150 ROBINHOOD RD
WINSTON SALEM NC 27106

F1592 (N)
PIEDMONT NATURAL GAS COMPANY INC
4720 Piedmont Row Dr
Charlotte NC 28210

F1592 (N)
PIEDMONT NATURAL GAS COMPANY INC
4720 Piedmont Row Dr
Charlotte NC 28210

F1592 (N)
POINTE AT ROBINHOOD VILLAGE LLC
PO BOX 108888
GREENSBORO NC 27404

F1592 (N)
PRESLEY ROGER B
1351 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
QFC INC
2286 WINTERBERRY DR
WINSTON SALEM NC 27106

F1592 (N)
QFC INC
2286 WINTERBERRY DR
WINSTON SALEM NC 27106

F1592 (N)
RAPPOPORT JOEL
5310 ROBINHOOD RD
WINSTON SALEM NC 27106

F1592 (N)
ROBIN HOOD BAPTIST CHURCH
5422 ROBINHOOD RD
WINSTON-SALEM NC 27106

F1592 (N)
ROMANO JOSEPH GEORGE
ROMANO NICOLE N
1688 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
SAMUEL AND CAROLYN BLACK INHERITED
REVOCABLE TRUST/BALASH KELLI B
1604 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
SCOSR GENERAL PROPERTIES LLC
PO BOX 20189
WINSTON SALEM NC 27120

F1592 (N)
SELLARS CHARLES P
SELLARS TANYA
1774 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
SHIRLEN DAVID
SHIRLEN SHARON
4924 GRAYSON GREENE LN
MORGANTON NC 28655

F1592 (N)
SMITH BRIAN S
SMITH AUDREY
1676 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
STANCO JOSEPH
1415 LYNNDALE DR
WINSTON SALEM NC 27106

F1592 (N)
STARMAN JAMES
STARMAN JEAN
1734 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
STEINBICKER JASON
STEINBICKER AMANDA
1640 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
THE RENT SHOP LLC
902 UPPER STUMP ROAD
CHALFONT PA 18914

F1592 (N)
VAUGHT JESS W
3120 BALTIMORE RD
EAST BEND NC 27018

F1592 (N)
VIENNA VOLUNTEER FIRE DEPT INC
6328 Yadkinville Road
PFAFFTOWN NC 27040

F1592 (N)
VILLAGE AT ROBINHOOD LLC
PO BOX 237
TAZEWELL TN 37879

F1592 (N)
VILLAGE AT ROBINHOOD LLC
PO BOX 237
TAZEWELL TN 37879

F1592 (N)
WIDELock JORDAN N
WIDELock TALLA M
1616 SWEETGRASS TRL
WINSTON SALEM NC 27106

F1592 (N)
WILAR 230 LLC
104 WILMOT RD, STOP MS1420
DEERFIELD IL 60015

F1592 (N)
WISHON CARTER BUILDERS INC
PO BOX 1719
YADKINVILLE NC 27055

F1592 (N)
WISHON & CARTER BUILDERS INC
PO BOX 1719
YADKINVILLE NC 27055

F1592 (N)
WISHON & CARTER BUILDERS INC
PO BOX 1719
YADKINVILLE NC 27055

F1592 (N)
YOUNG NELLIE C
1197 MEADOWLARK DR
WINSTON SALEM NC 27106

(For publication in the WS Journal Legal Section on
May 8 & 15, 2020)

NOTICE OF PUBLIC HEARING

NOTICE is hereby given that the Board of Commissioners will hold a public hearing on Thursday, May 21, 2020. The public hearing will be conducted remotely, as allowed by the Board's Remote Participation Policy during this state of emergency.

There will be no meeting place where members of the public can be physically present. The Meeting will be broadcast live at 2:00 p.m. on local cable channel WSTV 13-The Government Channel, http://winston-salem.granicus.com/MediaPlayer.php?publish_id=29 and <https://vimeo.com/forsythcountync>.

1. Zoning petition of JCS Properties North LLC, William Loggins and Susan Loggins, and Billie Moses from RS9 to GB-S (Residential Building, Duplex; Residential Building, Townhouse; Residential Building, Twin Home; Residential Building, Multifamily; Combined Use; Arts and Crafts Studio; Convenience Store; Food or Drug Store; Furniture and Home Furnishings Store; Micro-Brewery or Micro-Distillery; Restaurant (without drive-through service); Restaurant (with drive-through service); Retail Store; Shopping Center; Shopping Center, Small; Wholesale Trade A; Banking and Financial Services; Offices; Services, A; Veterinary Services; Recreation Services, Indoor; Recreation Facility, Public; Swimming Pool, Private; Theater, Indoor; Child Care, Drop-In; Child Day Care Center; Church or Religious Institution, Community; Church or Religious Institution, Neighborhood; Club or Lodge; College or University; Government Offices, Neighborhood Organization, or Post Office; Institutional Vocational Training Facility; Museum or Art Gallery; Police or Fire Station; School, Private; Access Easement, Private Off-Site; Park and Shuttle Lot; and Utilities): property is located at the southwest corner of Robinhood Road and Meadowlark Drive; property consists of ±33.91 acres and is PINs 5896-55-6034, 5896-55-6694, and 5896-55-3561 as shown on the Forsyth County Tax Maps in the office of the City-County Planning Board (Zoning Docket F-1592)
2. Zoning petition of John Berger from RS40 to RS20-S (Residential Building, Single-Family and Planned Residential Development): property is located on the east side of Lasater Road, across from Carrousel Drive; property consists of ±7.62 acres and is PIN 5873-94-7952 as shown on the Forsyth County Tax Maps in the office of the City-County Planning Board (Zoning Docket F-1593)

All persons interested in the proposed amendments are invited by the Board of Commissioners to present their views. If you wish to submit a written comment, please email to sloopam@forsyth.cc by Friday, May 22, 2020.

FORSYTH COUNTY BOARD OF COMMISSIONERS
Ashleigh M. Sloop, Clerk to the Board